

**AGENDA
PIQUA CITY COMMISSION
WORKSESSION
THURSDAY, APRIL 12, 2012
7:30 P.M. – COMMISSION CHAMBER – 2nd FLOOR
201 WEST WATER STREET
PIQUA, OHIO 45356**

CALL TO ORDER

ROLL CALL

CITY COMMISSION WORKSESSION

1. Canal Place Master Plan
2. Transportation Committee Action
3. Chadwick Estates Sewer Service
4. Adjournment

Piqua Canal Walk

LANDSCAPE ARCHITECT



Cypripedium
Landscape
Architecture
Studios, Inc.

6030 Coatesville Ct, Dayton, OH 45469
212 Loveman Ave, Worthington, OH 43085
937.660.9155 Office
614.556.4042 Office
866.520.0816 Fax
www.cypstudios.com

MAIN STREET PIQUA
CONSTRUCTION DOCUMENTS
2011.013.00
MARCH 2012



GENERAL NOTES

- GENERAL NOTES**
- CONTRACTOR SHALL NOT WORK FROM PARTIAL SETS OF DOCUMENTS. THE CONTRACTOR SHALL TOTALLY FAMILIARIZE HIMSELF WITH THE PROJECT AREA AND THE CONTRACT DOCUMENTS AS TO THE EXISTING SITE CONDITIONS, AND ANY DIFFICULTIES LIKELY TO BE ENCOUNTERED DURING THE CONSTRUCTION OF NEW IMPROVEMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. OBVIOUS ERRORS OR INCONSISTENCIES SHALL NOT SERVE AS A BASIS FOR A CLAIM AS AN EXTRA. EACH CONTRACTOR OR INSTALLER SHALL INSPECT CONDITIONS PRIOR TO INSTALLATION OF WORK AND SHALL NOTIFY THE OWNER IN WRITING OF UNSATISFACTORY CONDITIONS AND RECOMMENDATIONS FOR CORRECTION.
 - BASEMAPING INFORMATION SHOWN ON DRAWINGS WAS GATHERED BY FIELD MEASUREMENTS. ANY DISCREPANCIES BETWEEN THE PROPOSED PLAN AND EXISTING IMPROVEMENTS WILL BE REPORTED TO THE OWNER PRIOR TO MAKING FIELD ADJUSTMENTS.
 - THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS OF UTILITY COVERS, GRATES, CAPS, VALVES, BOXES, ETC. AS MAY BE REQUIRED TO CONSTRUCT NEW IMPROVEMENTS. THE CONTRACTOR SHALL MAKE INQUIRY OF THE LOCAL GAS, TELEPHONE, ELECTRIC AND PETROLEUM CARRIERS TO DETERMINE IF THEY HAVE UNDERGROUND UTILITIES IN THE PROJECT AREA. THE CONTRACTOR SHALL NOTIFY OHIO UTILITY PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO COMMENCING OF THIS PROJECT. 1.800.362.2764
 - ALL NEW CONSTRUCTION, WHERE APPLICABLE, WILL BE IN ACCORDANCE WITH THE CITY OF PIQUA CONSTRUCTION STANDARDS AND OHIO BUILDING CODE, CURRENT EDITION, AND ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. CONTRACTORS SHALL OBTAIN AND BE FAMILIAR WITH ALL APPLICABLE CODES.
 - ALL CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL WRITTEN INFORMATION AND WRITTEN DIMENSIONS SHALL PREVAIL. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ATTEMPTING ANY WORK IN THE AFFECTED AREA.
 - CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE WITH CLIENT TO MINIMIZE DISRUPTION TO EXISTING BUSINESSES AFFECTED BY CONSTRUCTION.
 - THE CONTRACTOR SHALL KEEP THE PROJECT AREA FREE FROM ACCUMULATION OF RUBBISH AND DEBRIS, POLICE AREA DAILY, DISPOSE OF ALL TRASH OFF SITE IN A LAWFUL MANNER, AND KEEP STREETS SWEET CLEAN.
 - PROJECT COORDINATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE WORK AND OF ENTITIES ENGAGED TO PERFORM WORK. COORDINATE WORK WITH EXISTING SCHEDULES AND OPERATIONS OF THE OWNER AND WORK WITH OWNER TO ASSURE ORDERLY PROGRESS.
 - THE CONTRACTOR SHALL INSTITUTE MEASURES TO SECURE THE PROJECT SITE DURING CONSTRUCTION OF THE PROJECT TO PREVENT VISITORS FROM ACCESSING THE CONSTRUCTION AREA. BARRICADE OPEN EXCAVATIONS AND PROVIDE WARNING LIGHTS WHERE REQUIRED TO PROTECT THE PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING VEHICLE AND PEDESTRIAN ACCESS TO PROPERTY AND DRIVEWAYS AT ALL TIMES TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL STAKE OR MARK LOCATIONS OF PROPOSED TREES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - A PRE-CONSTRUCTION MEETING MAY BE REQUIRED OF THE CONTRACTOR FOR THE PURPOSE OF REVIEWING SCHEDULES AND PERTINENT DETAILS OF THE PROJECT.
 - ALL PROPOSED LIGHT POLES AND ELECTRICAL WIRING TO BE COMPLETED BY THE CITY OF PIQUA. LIGHT POLE FOOTERS AND CONDUITS SHALL BE INSTALLED BY THE CONTRACTOR.
 - ALL WORK TO BE COMPLETED IN ACCORDANCE WITH STATE OF OHIO CONSTRUCTION AND MATERIALS SPECIFICATIONS.

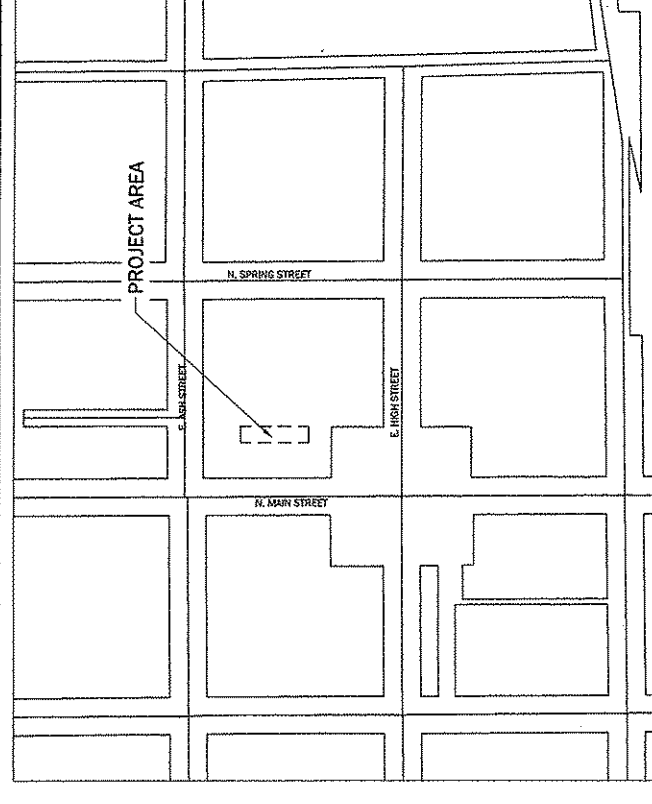
SHEET INDEX

COVER SHEET
G001
LD101
LS101
LP101
LS501

ABBREVIATIONS

APPROX	= APPROXIMATE
B&B	= BALLED AND BURLAPPED
B.C.	= BOTTOM OF CURB
B.M.	= BENCHMARK
B.S.	= BOTTOM OF SLOPE
CAL	= CALIPER
C.B.	= CATCH BASIN
CL	= CENTERLINE
C.F.	= CUBIC FEET
C.Y.	= CUBIC YARD
DIM.	= DIMENSION
DIA.	= DIAMETER
DWG.	= DRAWING
EL.	= ELEVATION
F.F.	= FINISHED FLOOR ELEVATION
F.G.	= FINISHED GRADE
FL.	= FLOOR
FT.	= FOOT
GA.	= GAUGE
INV.	= INVERT
M	= METER
MAX.	= MAXIMUM
M.H.	= MANHOLE
MIN.	= MINIMUM
MISC.	= MISCELLANEOUS
N.I.C.	= NOT IN CONTRACT
N.T.S.	= NOT TO SCALE
O.C.	= ON CENTER
P.V.C.	= POLYVINYL CHLORIDE PIPE
PL	= PROPERTY LINE
R	= RADIUS
R.O.W.	= RIGHT OF WAY
S.F.	= SQUARE FOOT
S.Y.	= SQUARE YARD
T.W.	= TOP OF WALL
TYP.	= TYPICAL

VICINITY MAP

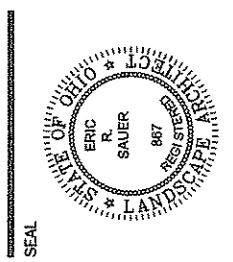


SEAL



PROJECT
PIQUA CANAL WALK
 NORTH MAIN STREET
 PIQUA, OHIO 45356

CLIENT
MAINSTREET PIQUA
 326 NORTH MAIN STREET
 PIQUA, OHIO 45356



ISSUE
CONSTRUCTION DOCUMENTS

REV	DATE	COMMENT

DATE: 3/2/2012
 PROJECT NO: 2011.013.00
 DRAWN BY: EJM
 CHECKED BY: ERS

DRAWING TITLE
EXISTING CONDITIONS - DEMOLITION PLAN

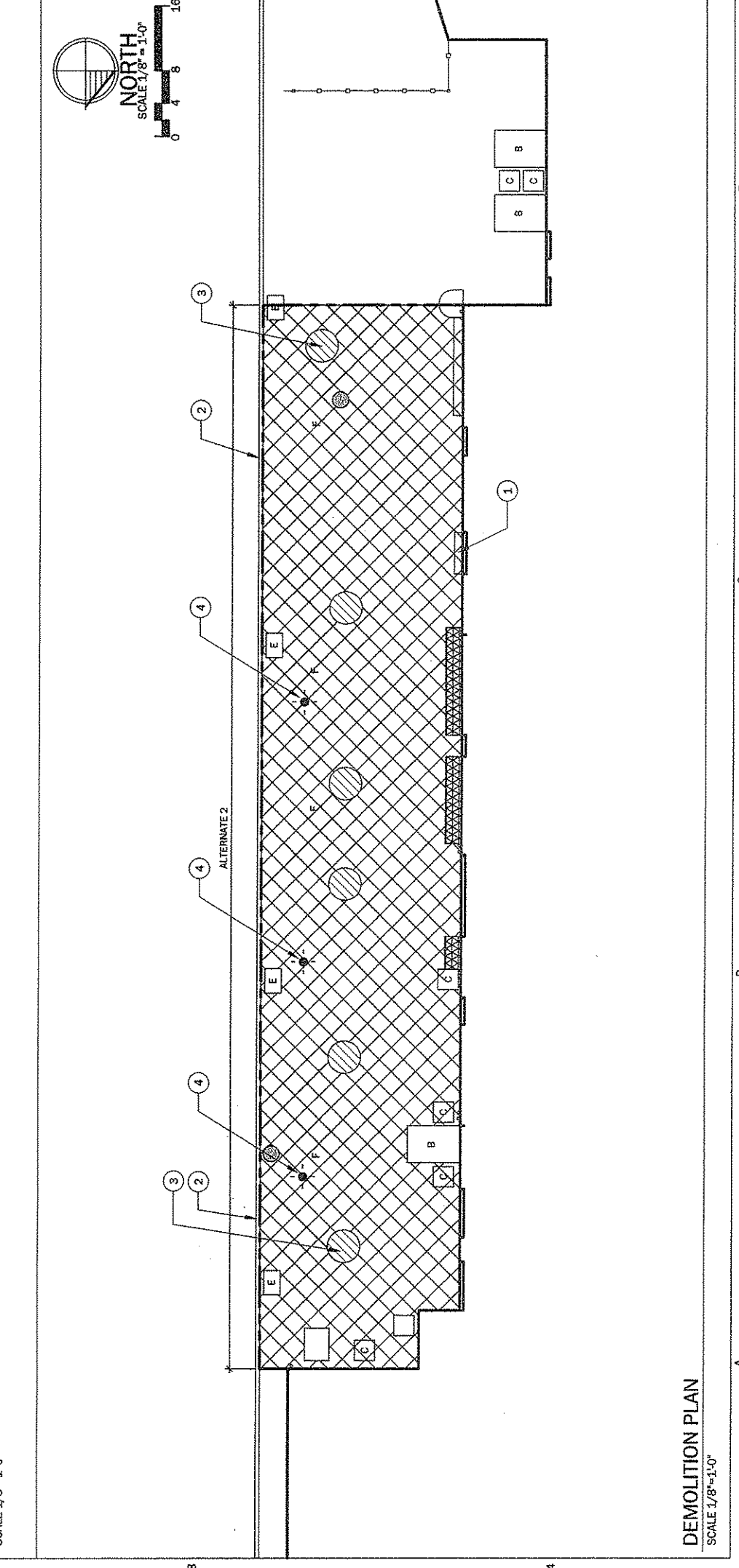
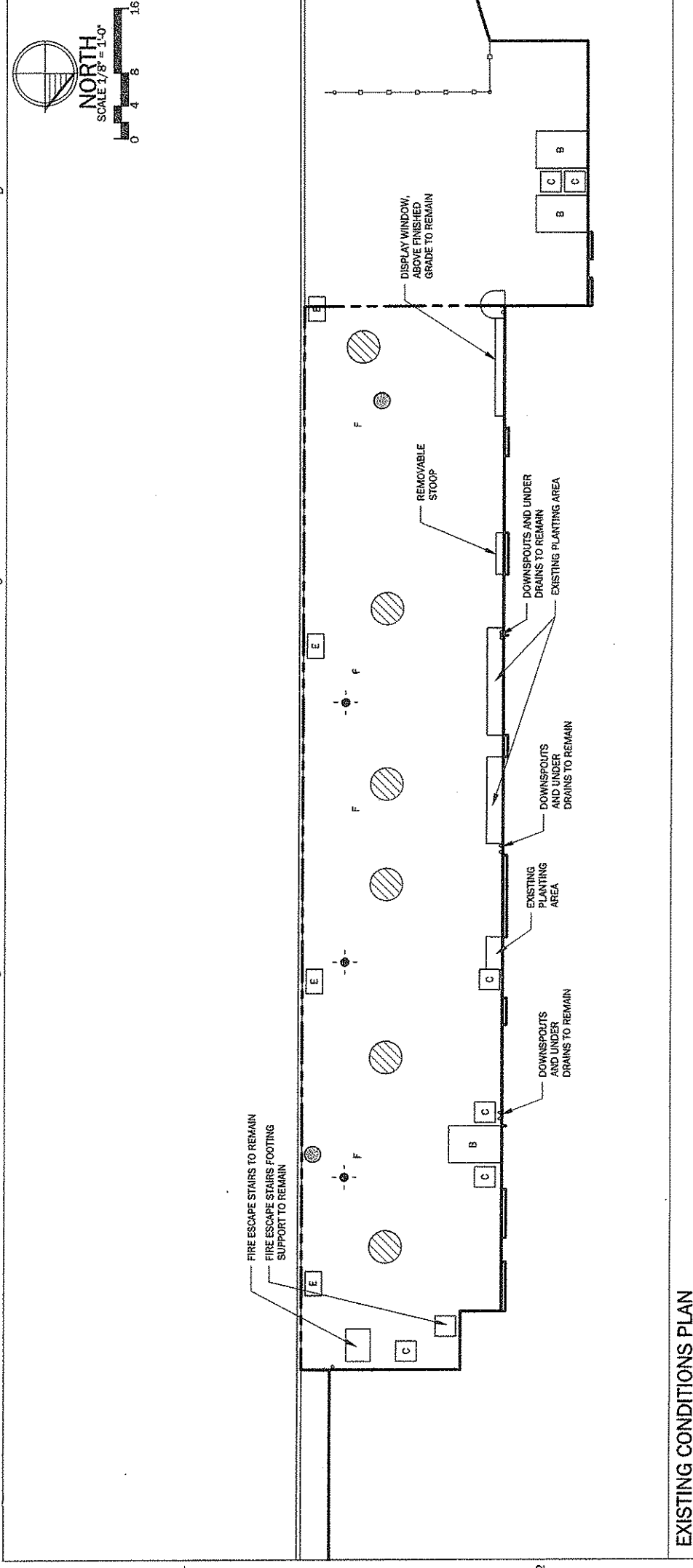
SHEET NO.
LD101



- GENERAL NOTES**
- IT IS THE INTENT OF THE DEMOLITION DRAWINGS TO CONVEY THE EXTENT OF DEMOLITION AND CLEARING OPERATIONS. DRAWINGS MAY NOT SHOW OR DESCRIBE ALL EXISTING SITE ELEMENTS THAT REQUIRE REMOVAL FOR THE CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME TOTALLY FAMILIAR WITH THE PROJECT SITE AND THE EXTENT OF THE PROPOSED IMPROVEMENTS.
 - REMOVAL AND RELOCATION OF LIGHT POLES AND ELECTRICAL SERVICE TO BE COMPLETED BY THE CITY OF PIQUA. REMOVAL OF LIGHT POLE FOOTERS TO BE COMPLETED BY CONTRACTOR.
 - REMOVAL OF SITE FURNISHINGS INCLUDING TABLES, PLANTERS AND TRASH RECEPTACLES SHALL BE COMPLETED BY THE CITY OF PIQUA.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF CONDENSER UNITS WHILE CONCRETE WORK IS COMPLETED
 - ALL DEBRIS FROM DEMOLITION AND CLEARING OPERATIONS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN A LEGAL MANNER, IN COMPLIANCE WITH LOCAL JURISDICTIONS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL SALVAGE EXISTING SITE ELEMENTS IF NOTED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING DEMOLITION WORK.
 - SAW CUT AND REMOVE CONCRETE WALK AND CURB TO THE NEAREST CONTROL JOINT UNLESS JOINT IS MORE THAN 9' FROM LIMITS OF NEW CONSTRUCTION.
 - ALL CONCRETE AND ASPHALT REMOVALS IN THE RIGHT-OF-WAY SHALL BE ALONG SAW-CUT LINES.
 - CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE OHIO DEPARTMENT OF NATURAL RESOURCES RAINWATER AND LAND DEVELOPMENT EROSION CONTROL MEASURES. SEE EROSION CONTROL PLAN FOR NOTES, SPECIFICATIONS AND EROSION CONTROL DETAILS.
 - UTILITY LOCATIONS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND THEIR RESTORATION IN THE EVENT OF DAMAGE.
 - DISPOSE OF ALL DEBRIS OFF SITE IN A LEGAL MANNER.
 - THE CONDITION OF THE BASE MATERIAL UNDER EXISTING CONCRETE IS UNKNOWN. REUSE EXISTING BASE IF IN GOOD CONDITION, AS DETERMINED BY CITY ENGINEER. FINISHED CONCRETE PAVEMENT AND BASE SHALL MEET STANDARDS SET FORTH IN CONCRETE DETAIL AND SPECIFICATIONS.
 - CONTRACTOR SHALL ENSURE THAT ALL REMAINING ROOT MATERIAL IS REMOVED WITHIN THE TOP 12 INCHES FROM FINISH GRADE.

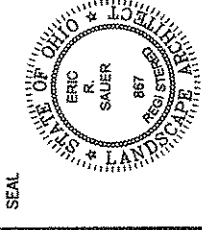
- DEMOLITION NOTES**
- INDICATES CONSTRUCTION NOTE
 - 1. REMOVE EXISTING STOP.
 - ALTERNATE 1 - REMOVE EXISTING CURB.
 - 3. REMOVE EXISTING SHRUB.
 - CONTRACTOR TO REMOVE POLE BASES AND ASSOCIATED CONDUIT. CITY WILL REMOVE POLES AND EXISTING WIRING.

- LEGEND**
- PROJECT LIMIT LINE
 - REMOVE CONCRETE
 - EXISTING PLANTING AREA - REMOVE PLANT MATERIALS
 - EXISTING TREE PIT (APPROX. LOCATION)
 - EXISTING STORM MANHOLE TO REMAIN (APPROX. LOCATION)
 - EXISTING LIGHT POLE, TO BE REMOVED BY CITY (APPROX. LOCATION)
 - EXISTING FENCE TO REMAIN
 - EXISTING CONDENSER UNIT TO REMAIN
 - BASEMENT ACCESS TO REMAIN
 - EXISTING ELECTRICAL BOX TO REMAIN



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DATE: 3/2/2012
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 DRAWING TITLE

SITE LAYOUT - GRADING-DRAINAGE PLAN

SHEET NO.
LS101

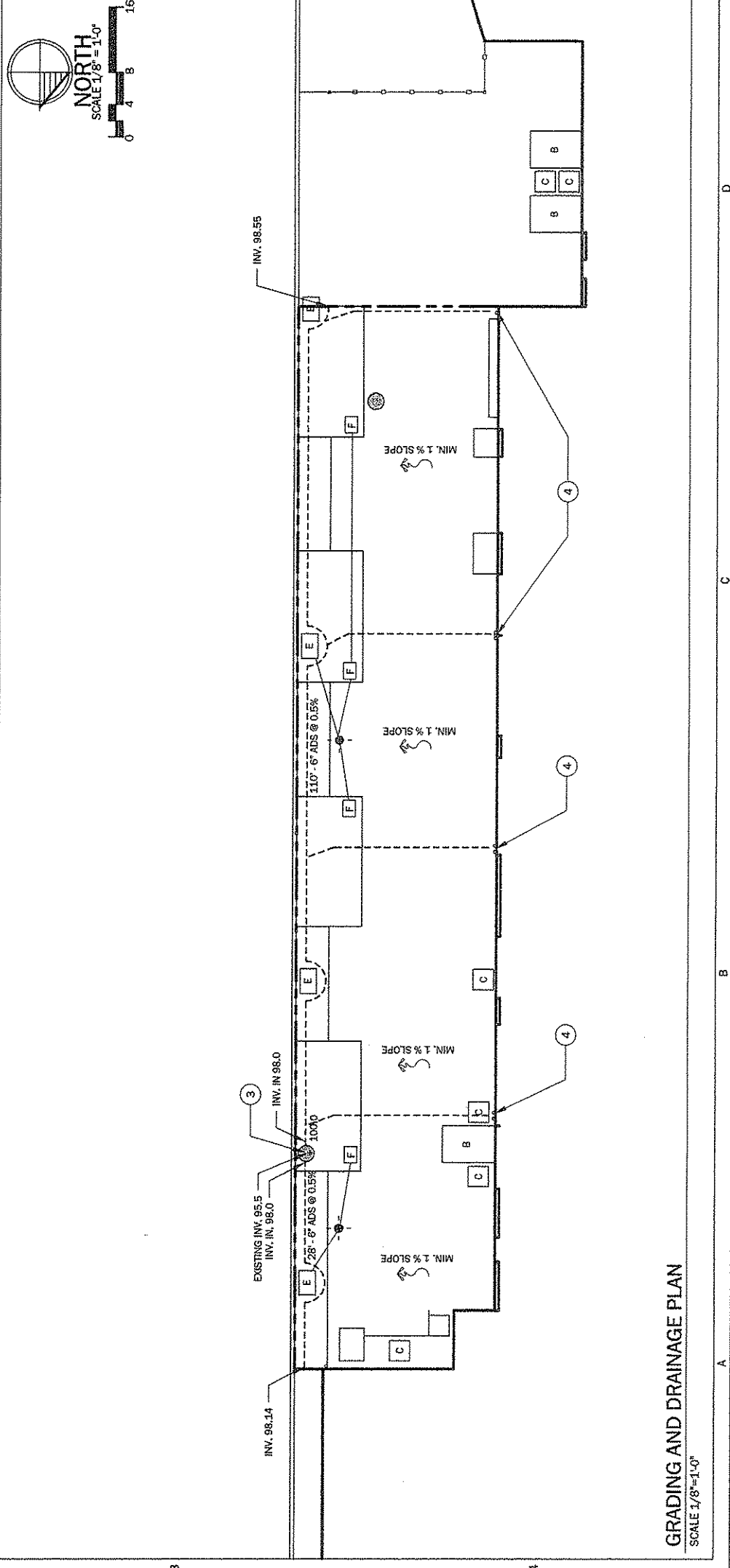
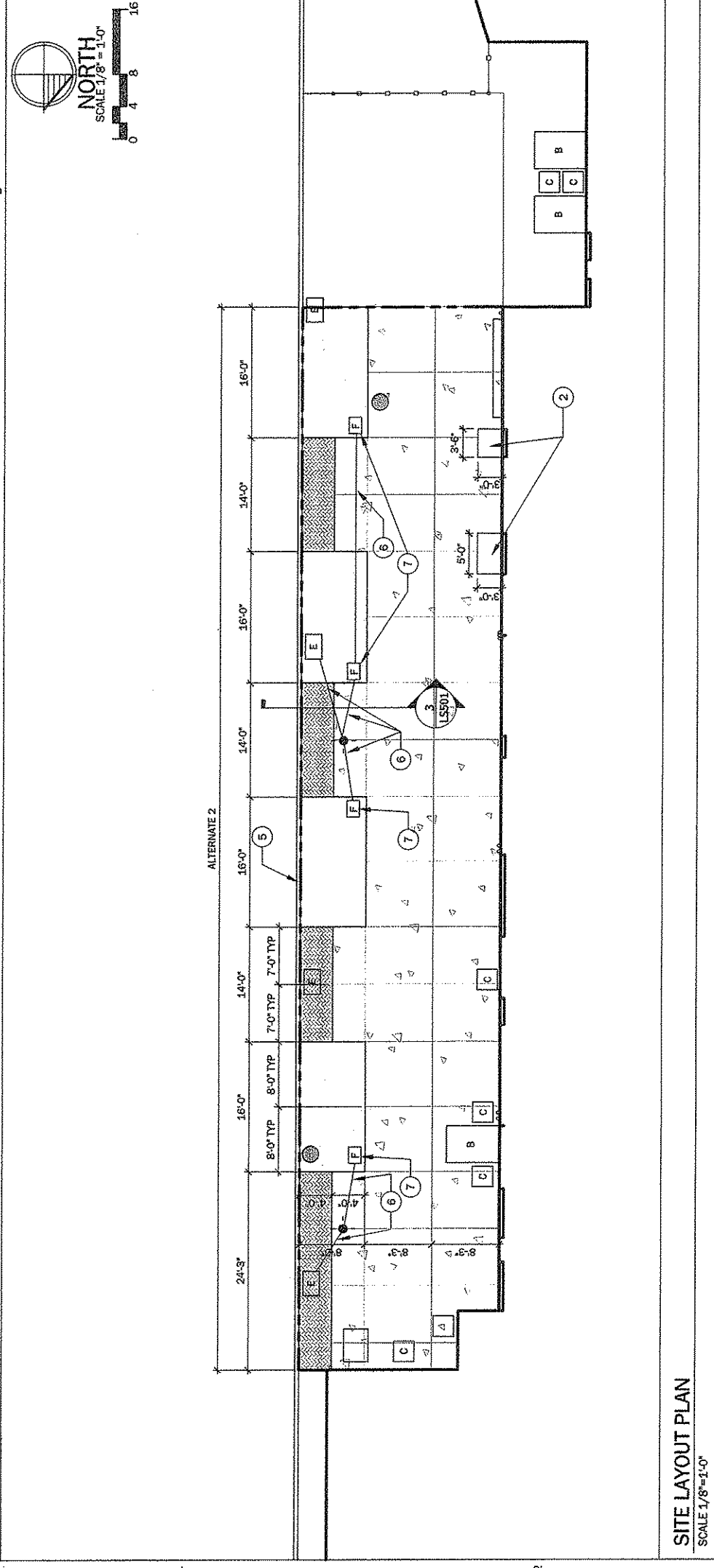
Cypripedium Landscape Architecture Studios, Inc.
 s t u d i o s
 6030 Coarshire Ct., Dayton, OH 45429
 212 Loveman Ave., Worthington, OH 43085
 637.660.8155 Office
 614.562.7433 Office
 666.920.0816 Fax
 www.cypstudios.com

- SITE LAYOUT GENERAL NOTES**
1. ALL DIMENSIONS ARE BACK OF CURB AND WALL UNLESS NOTED OTHERWISE.
 2. PEDESTRIAN TRAFFIC SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT. IF IT IS NECESSARY TO CLOSE A SIDEWALK, THE CONTRACTOR SHALL INSTALL "SIDEWALK CLOSED" SIGNS (R9-9, "SIDEWALK") AT EACH END OF THE WORK AREA OR TYPE I BARRICADES. A SUFFICIENT NUMBER OF BARRICADES SHALL BE USED TO SECURE PROJECT AREA.
 3. ANY CURB AND SIDEWALK AREAS THAT ARE REPLACED NEAR INTERSECTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
 4. CONTRACTOR TO COORDINATE ALL SITE IMPROVEMENTS WITH CITY OF PIQUA FOR SITE ELECTRICAL.
 5. ELECTRICAL CONDUIT SHALL BE INSTALLED ADJACENT TO PAVERS AND TREE PLANTING/BIO-RETENTION AREAS BY CONTRACTOR. COORDINATE WITH CITY ON LOCATION.

- GRADING AND DRAINAGE GENERAL NOTES**
1. A TOPOGRAPHIC SURVEY WAS NOT COMPLETED FOR THIS PROJECT. MAKE FIELD ADJUSTMENTS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS. SLOPE IS PREFERRED TO BE 1% BUT MAY VARY TO MEET CURB AND STEP HEIGHTS.
 2. RUNOFF SHALL BE DIRECTED INTO TREE PLANTING/BIO-RETENTION AND PERMEABLE PAVEMENT AREAS TO INFILTRATE INTO THE SUBSURFACE.
 3. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNERS REPRESENTATIVE.
 4. CONTRACTOR TO MAKE MINOR GRADING ADJUSTMENTS AS NECESSARY TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXISTING CONSTRUCTION.
 5. ALL NEW AND RESURFACED PAVEMENT AREAS SHALL HAVE POSITIVE DRAINAGE. NO STANDING WATER WILL BE PERMITTED.
 6. ADJUST ALL VALVE COVERS, LIDS AND UTILITY STRUCTURES AS NECESSARY TO MEET PROPOSED GRADES.

- SITE LAYOUT/GRADING AND DRAINAGE CONSTRUCTION NOTES**
- INDICATES CONSTRUCTION NOTE
 - CONTROL POINT, TYP.
 - 1. POURED CONCRETE STOOP, CENTER LOCATION ON EXISTING DOOR. SEE DETAIL 4 SHEET LS501. ELEVATIONS OF STOOPS TO BE ADJUSTED TO +/- 6 INCHES WHILE MAINTAINING POSITIVE DRAINAGE FROM BUILDING
 - 2. TIE UNDER DRAIN INTO EXISTING STORM MANHOLE. SEE DETAIL 7, SHEET LS501 FOR SPECIFICATION.
 - 3. EXISTING DOWNSPOUTS AND UNDER DRAINS TO BE INSTALLED UNDER PAVEMENT AND ROUTED TO STORM DRAINS.
 - 4. ALTERNATE 1 - REPLACE EXISTING CURB WITH NEW BARRIER CURB, PER CITY OF PIQUA CONCRETE CURB DETAILS, SHEET 300-4. PATCH PAVEMENT AS REQUIRED TO MATCH EXISTING.
 - 5. CONTRACTOR TO SUPPLY AND INSTALL 1" AND 2" SCHEDULE 40 PVC CONDUIT AS SHOWN. 2" CONDUIT TO CONNECT ELECTRICAL BOXES TO LIGHT POLES AND 1" CONDUIT FROM LIGHT POLES TO GROUND BOXES AND BETWEEN GROUND BOXES. PULL CORD TO BE SUPPLIED AND INSTALLED IN ALL CONDUIT.
 - 6. CONTRACTOR TO SUPPLY AND INSTALL GROUND BOXES. BOXES TO BE HUBBELL QUAZITE 6X8 BOXES, MODEL #PC0608B06 OPEN BOTTOM WITH LIDS MODEL #PC0608H00 W/2 BOLTS. WWW.HUBBELLPOWERSYSTEMS.COM

- LEGEND**
- PROJECT LIMIT LINE
 - 6" PERFORATED PIPE, SEE DETAIL 5, SHEET LS501.
 - CONCRETE PAVEMENT - SEE DETAIL 3, SHEET LS501
 - PERMEABLE PAVERS - SEE DETAIL 1, SHEET LS501
 - TREE PLANTING/BIO-RETENTION AREA, SEE SHEET DETAIL 5, SHEET LS501
 - EXISTING DOWNSPOUTS AND UNDER DRAINS TO BE INSTALLED UNDER PAVEMENT AND ROUTED TO STORM DRAINS.
 - NEW LIGHT POLE, BY CITY. CONTRACTOR TO INSTALL FOUNDATION ONLY. SEE DETAIL 6 SHEET LS501 FOR FOUNDATION DETAIL.
 - EXISTING FENCE TO REMAIN
 - EXISTING CONDENSER UNIT TO REMAIN
 - BASEMENT ACCESS TO REMAIN
 - EXISTING ELECTRICAL BOX TO BE REPLACED BY CONTRACTOR. CITY TO PROVIDE BOXES.
 - CONTRACTOR TO PROVIDE AND INSTALL GROUND BOX
 - EXISTING STORM MANHOLE TO REMAIN- ADJUST TO FINAL GRADE
 - +100 SPOT ELEVATION



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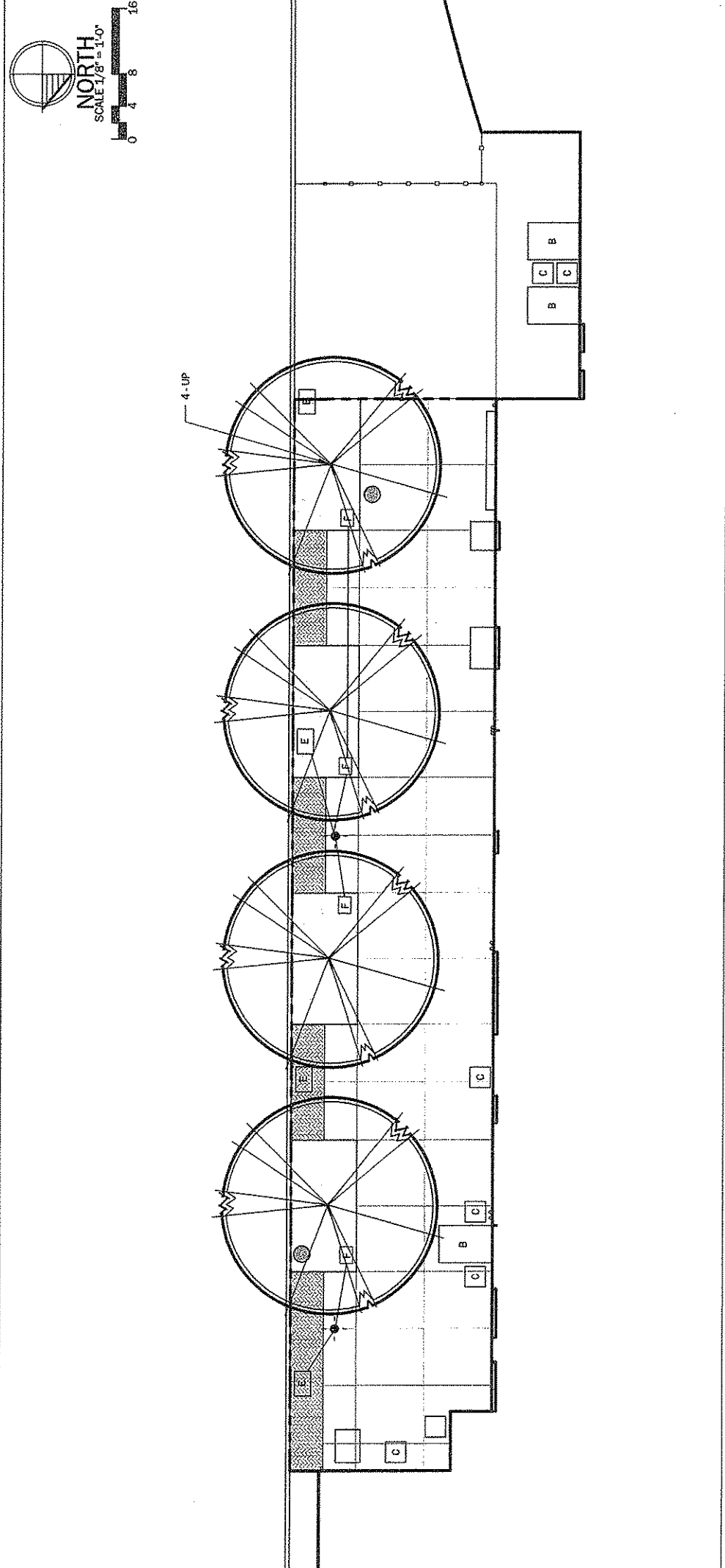
LANDSCAPE PLANTING PLAN

SHEET NO.
LP101



PLANTING GENERAL NOTES
 1. SEE DETAIL 7, SHEET LS501 FOR TREE PLANTING DETAIL.

- PLANTING SPECIFICATIONS
- ALL SUPPLIED NURSERY STOCK TO BE PER THE LATEST VERSION OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) STANDARDS.
 - LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PLANT MATERIAL BEING DELIVERED TO THE JOB SITE. LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REFUSE ALL OR PART OF ANY GROUP OF PLANT MATERIALS DEEMED UNACCEPTABLE OR NOT MEETING NORMAL ANLA STANDARDS.
 - ALL BALLED AND BURLAPPED MATERIALS SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH IN WHICH THEY WERE GROWN, WITH A BALL SIZE NOT LESS THAN SIZES INDICATED. ALL ROOT BALLS TO BE WRAPPED, TIED, RIGIDLY SUPPORTED AND DRUM LACED AS RECOMMENDED BY ANLA STANDARDS.
 - DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT. PROTECT PLANTS AND ROOT BALLS FROM SUN SCALD, DRYING, SWEATING, WHIPPING AND OTHER HANDLING AND TONG DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF ALL MATERIALS DURING DELIVERY.
 - DO NOT DROP ANY PLANT MATERIALS.
 - HANDLE ALL PLANT MATERIALS BY ROOT BALL ONLY.
 - DELIVER PLANT MATERIALS ONLY AFTER ALL PREPARATIONS HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET MATERIALS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF MATERIALS DURING STORAGE INCLUDING WATERING AS NECESSARY TO ENSURE ROOT SYSTEMS REMAIN MOIST.
 - FAILURE OF ANY PROPER HANDLING SPECIFICATION WILL RESULT IN REJECTION OF PLANT MATERIALS.
 - WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM PROJECT ACCEPTANCE. THE WARRANTY INCLUDES FULL MATERIAL AND LABOR AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL. REMOVE DEAD PLANTS IMMEDIATELY. REPLACE IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. REPLACE EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
 - THREE SITE VISITS ARE REQUIRED DURING THE WARRANTY PERIOD WITH LANDSCAPE ARCHITECT. THESE VISITS WILL BE USED TO DETERMINE PROPER MAINTENANCE BY OWNER, INSECT AND DISEASE ISSUES AND GENERAL PERFORMANCE OF THE INSTALLATION. ANY REQUIRED REPLACEMENTS WILL BE MADE AFTER EACH SITE VISIT.
 - CONTRACTOR TO SUPPLY TO OWNER A MONTHLY MAINTENANCE SCHEDULE DURING A CALENDAR YEAR. SCHEDULE MUST BE SUBMITTED TO OWNER PRIOR TO REQUESTING FINAL JOB ACCEPTANCE.
 - CONTRACTOR TO MAINTAIN ALL PLANT MATERIALS UNTIL PROJECT ACCEPTANCE BY OWNER, UNLESS SPECIFIED OTHERWISE.
 - CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING BID FOR THE PROJECT IF ANY SPECIFIED PLANT IS OF CONCERN RELATED TO GUARANTEE ISSUES. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO SUBMITTING BID FOR PROJECT OF ANY CONCERNS REGARDING AVAILABILITY OF ANY SPECIFIED PLANT.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER AND THE OWNER'S REPRESENTATIVE TO SCHEDULE A PROJECT WALK THROUGH AFTER PLANT MATERIALS HAVE BEEN INSPECTED. THE PROJECT WALK THROUGH WILL INCLUDE ALL PLANTS, MATERIALS, AND PLANT MATERIALS TO ENSURE THAT ALL PLANTS, MATERIALS, AND PLANT MATERIALS MEET STOCK SPECIFICATIONS. PROJECT ACCEPTANCE WILL OCCUR AFTER A FORMAL DOCUMENT OF ACCEPTANCE IS ISSUED BY THE OWNER OR OWNER'S REPRESENTATIVE AND THE CONTRACTOR IS NOTIFIED OF PROJECT ACCEPTANCE.
 - ALL PLANT MATERIALS MUST BE SUPPLIED WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANLA STANDARDS FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS. IF FORMAL ARRANGEMENTS OR CONSEQUENTIAL ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD. ALL STEMS TO BE LOCATED IN THE CENTER OF THE ROOT BALL, AND SINGLE STEM PLANTS MUST BE DELIVERED WITH STRAIGHT TRUNK, WELL-BALANCED CROWN, AND INTACT LEADER, OF HEIGHT AND CALIPER INDICATED.
 - ALL MULTI-STEM PLANTS MUST BE DELIVERED WITH WELL-BALANCED CROWN, AND INTACT LEADERS, OF HEIGHT AND CALIPER INDICATED.
 - ALL NURSERY STOCK SHIPPED IN ACCORDANCE WITH THE REQUIRED SPECIFICATIONS SHALL BE DEEMED TO BE ACCEPTABLE WITHIN THE TERMS OF THIS SECTION IF IT IS TYPICAL IN SIZE AND HABIT FOR THE SPECIES IN THE REGION OF THE COUNTRY IN WHICH IT IS GROWN UNLESS SPECIFIED OTHERWISE.
 - ALL NURSERY STOCK TO ORIGINATE AND BE GROWN WITHIN ONE USDA HARDINESS ZONE TO THE SOUTH AND TWO HARDINESS ZONES TO THE NORTH.
 - ANY TREATMENTS, PRUNING OR CORRECTIVE MEASURES REQUIRED FOR EXISTING TREES MUST BE COMPLETED BY AN ISA CERTIFIED ARBORIST.



LANDSCAPE PLANTING PLAN
 SCALE 1/8"=1'-0"

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	PLANT SPACING	CONDITION	MIN. ROOT BALL DIAMETER
UP	4	Ulmus parvifolia 'Dynasty'	DYNASTY LACEBARK ELM	2-1/2" - 3"	PER PLAN	B&B	32"

TREE PLANTING NOTES

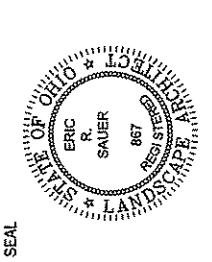
- CONTRACTOR SHALL APPLY THE SAME SOIL ADDITIVES AS FOR PLANTING BEDS BUT AT THE MANUFACTURER RECOMMENDED RATES FOR TREE PLANTINGS.
- ALL TREES SHALL BE PLANTED PER THE TREE PLANTING DETAIL.
- ALL TREES TO BE WATERED AT THE POINT OF PLANTING WHEN THE BACKFILL IS HALF WAY INSTALLED. ONCE WATERING IS COMPLETED, THE BACKFILL IS TO BE COMPLETED PER DETAIL.
- CONTRACTOR SHALL PROVIDE EVIDENCE THAT THE REQUIRED SOIL ADDITIVES WERE SUPPLIED AND INSTALLED ON THE PROJECT SITE.

BED PREPARATION NOTES

- ORGANIC COMPOST - SHALL BE LEAF OR WESHROOM COMPOST WITH A PH LEVEL OF 5.5 TO 6.5. CONTRACTOR SHALL SUPPLY A PH CERTIFICATION TO THE LANDSCAPE ARCHITECT FOR VERIFICATION.
- FERTILIZER - CONTRACTOR SHALL APPLY A 14-14-14 100% POLY PLUS ORNAMENTAL SLOW RELEASE FERTILIZER LABELED FOR ORNAMENTAL USE SUCH AS AVAILABLE FROM LESCO, 800.321.5325, OR APPROVED EQUAL.
- CONTRACTOR SHALL ALSO APPLY ONE OF THE FOLLOWING PRODUCTS:
 - PROPLUS BIOPRIME AT THE RATE OF 1 POUND PER 1000 SF, AS AVAILABLE FROM PROFILE, 800.508.8681.
 - PLANT HEALTH CARE HEALTHY START 3-4-3 AT THE RATE OF 25 POUNDS PER 1000 SF, 800.421.9051.
 - ROOTS PLANT CARE GROUP M-ROOTS AT THE RATE OF 50 POUNDS PER 1000 SF, 800.342.6173.
- ONCE PLANTING IS COMPLETED AND THE BEDS HAVE BEEN THOROUGHLY WATERED, PRIOR TO MULCHING, THE CONTRACTOR SHALL APPLY A GRANULAR WEED PREVENTER CONTAINING ISOXAZEN AND TRIFLURALIN SUCH AS SNAPSNOT 2.5 TG AT THE RATE OF 5 POUNDS PER 1000 SF.
- BETWEEN SIX AND NINE MONTHS AFTER INITIAL INSTALLATION, CONTRACTOR TO APPLY ROOTS, INC. 6NY-ROOTS, 800.342.6173, PLANT HEALTH CARE BIOPAC, 800.421.9051, OR PROPLUS BIOPRIME, 800.508.8681, PER MANUFACTURER'S SPECIFICATION TO REFRESH MYCORRHIZA IN PLANTING BEDS.
- CONTRACTOR SHALL PROVIDE EVIDENCE THAT THE ABOVE MATERIALS WERE SUPPLIED AND INSTALLED ON THE PROJECT SITE.

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CONSTRUCTION DOCUMENTS

REV	DATE	COMMENT

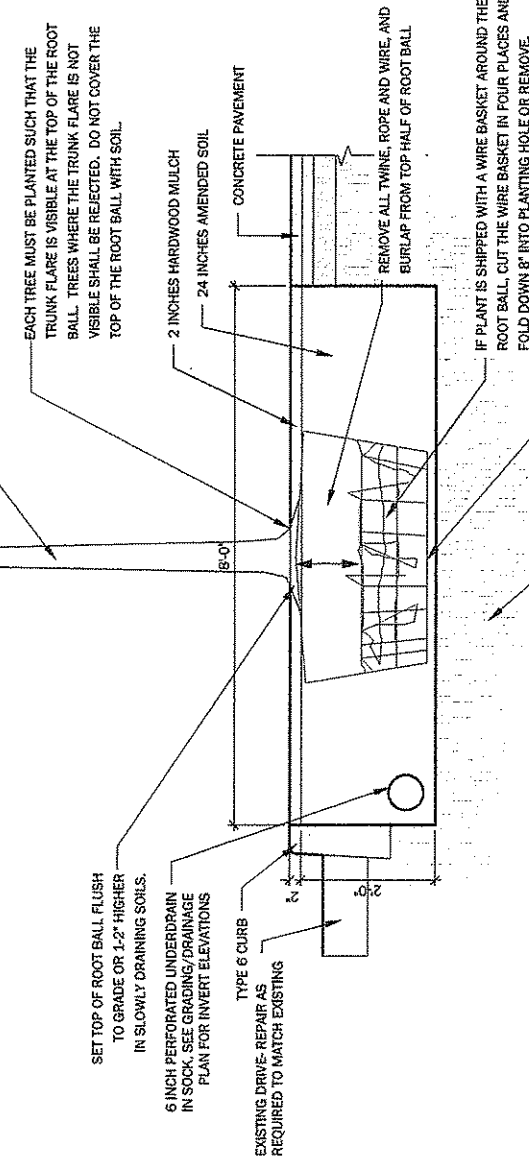
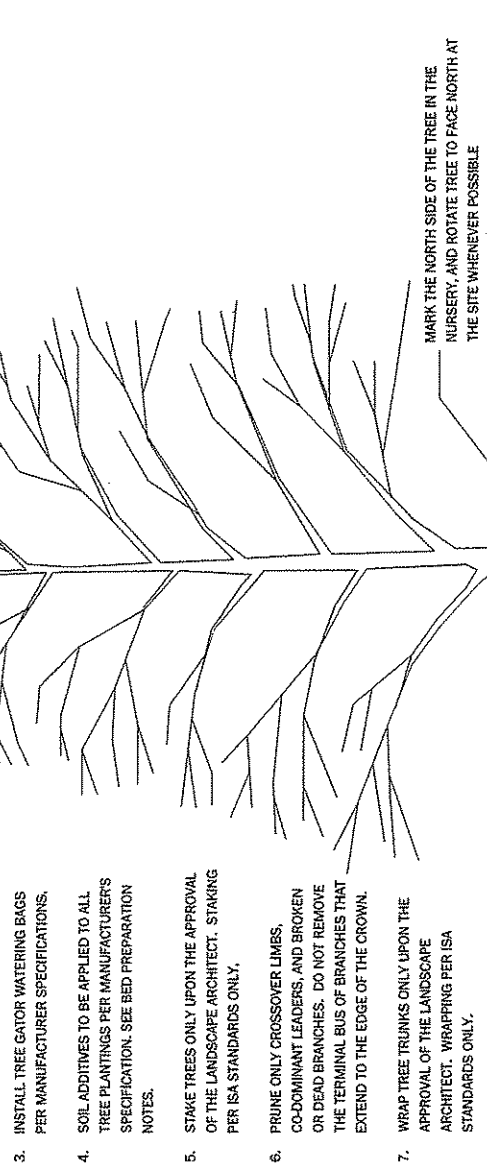
DATE: 3/2/2012
 PROJECT NO: 2011.013.00
 DRAWN BY: EJM
 CHECKED BY: ERS

DRAWING TITLE
SITE DETAILS

SHEET NO.
LS501

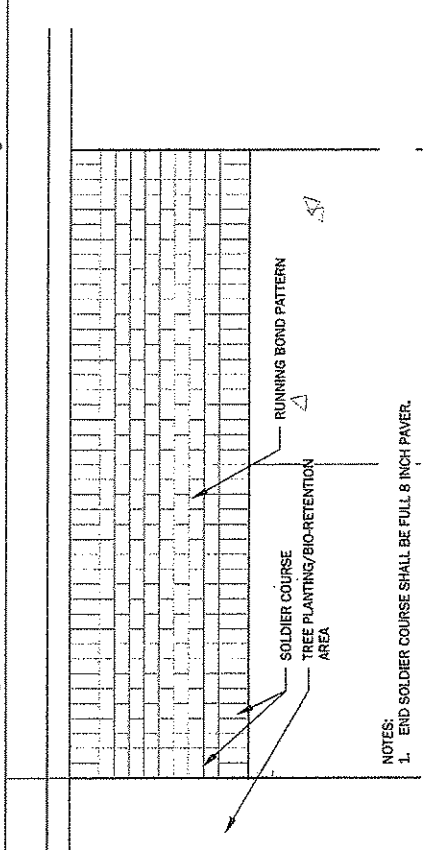


INTERNATIONAL SOCIETY OF ARBORICULTURE
 1400 WEST ANTHONY DRIVE
 CHAMPAIGN, IL 61821
 (217) 355-9411
 (217) 355-9516 FAX

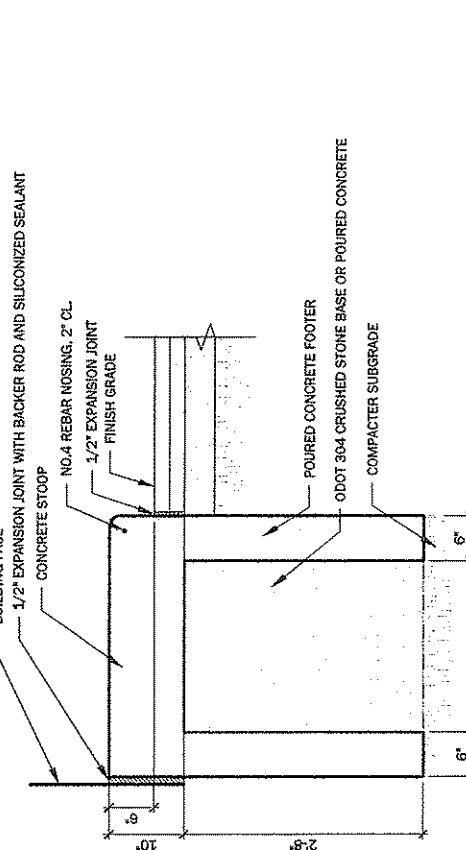


- NOTES:
1. ALL PIPING TO BE ADVANCED DRAINAGE SYSTEMS, INC., ADS, 937.470.3512, OR APPROVED EQUAL.
 2. TREE PLANTING AREAS SHALL BE EXCAVATED TO 24 INCHES. BIO-RETENTION SOIL MIX SHALL BE CREATED USING EXCAVATED SOIL AS THE TOPSOIL COMPONENT. THE RESULTING SOIL SHALL BE A MIXTURE OF 80% COURSE SAND, MAX. 15% TOPSOIL, AND 5% COMPOST CONTENT. PH RANGE TO BE BETWEEN 5.2 - 7.2.
 3. MULCH TO BE SHREDDED DOUBLE PROCESSED HARDWOOD MULCH.
 4. SEE SHEET LP101 FOR BED PREPARATION NOTES, PLANTING SPECIFICATIONS, AND TREE PLANTING NOTES.

7 TREE PLANTING/BIO-RETENTION DETAIL
 SCALE 3/4" = 1'-0"

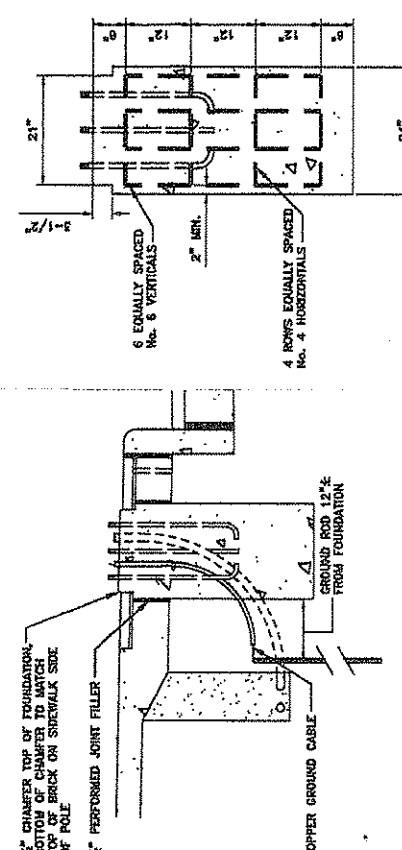


2 PAVER LAYING PATTERN DETAIL
 SCALE 1/2" = 1'-0"



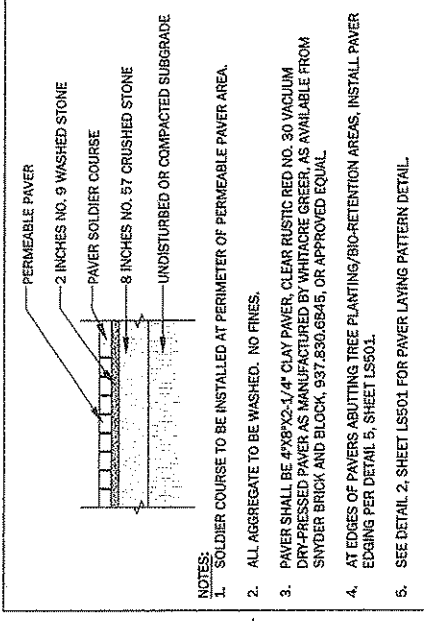
- NOTES:
1. CONCRETE SHALL BE 3200 PSI AT 28 DAYS.
 2. TREAD HEIGHT TO BE AS CLOSE TO 6 INCHES AS POSSIBLE. ALL STEP HEIGHTS SHALL BE EQUAL AND SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING.

4 CONCRETE STOOP DETAIL
 SCALE 1" = 1'-0"

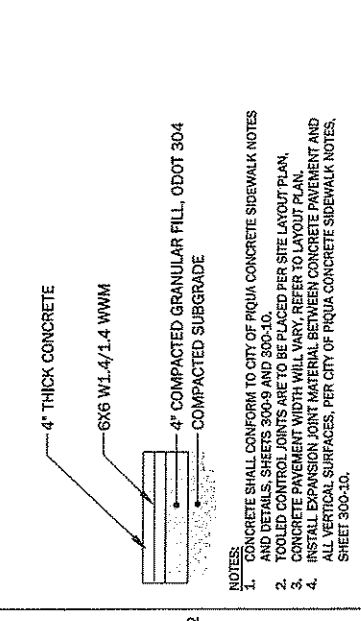


- NOTES:
1. USE PRE-MANUFACTURED CONDUIT SPACERS TO MAINTAIN TYPICAL SPACING REQUIRED FOR CONDUITS.
 2. CITY TO PROVIDE THE ANCHOR BOLTS AND THE ANCHOR BOLTS LAYOUT TEMPLATE FOR LIGHT POLE FOUNDATIONS.
 3. ANCHOR BOLTS SHALL BE SECURED TO THE REINFORCING STEEL PRIOR TO THE PLACEMENT OF CONCRETE FOUNDATIONS.

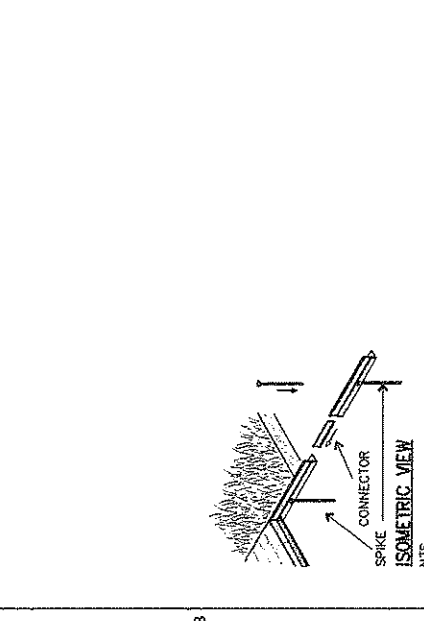
6 LIGHT POLE FOUNDATION
 NOT TO SCALE



1 PERMEABLE PAVER DETAIL
 SCALE 1/2" = 1'-0"



3 CONCRETE PAVEMENT DETAIL
 SCALE 3/4" = 1'-0"



- NOTES:
1. INSTALL PER PERMALOC MANUFACTURER'S INSTRUCTIONS TO MAINTAIN CONNECTION BETWEEN MANUFACTURER'S SLIDING CONNECTOR SYSTEM. CORNERS: NOTCH BASE ONLY AND FORM A CONTINUOUS CORNER.
 2. TO BE PERMALOC STRUCTURE.
 3. 3/16" X 1/2" - 5/8" - MILL FINISH AS MANUFACTURED BY PERMALOC CORPORATION, HOLLAND, MI, OR APPROVED EQUAL.
 4. (800) 356-9660, (616) 399-9600
- CONTRACTOR'S NOTE:
 FOR PRODUCT AND PURCHASING INFORMATION VISIT: WWW.PERMALOC.COM

5 PAVER EDGING DETAIL
 NOT TO SCALE

TRANSPORTATION COMMITTEE

Q1 – 2012
Summary of Actions Taken

Transportation Committee Mission Statement:

- Explore and determine the concerns of affected residents and business in the City with respect to public transportation infrastructure, including but not limited to streets, highways, sidewalks, bike trails, airports, and railroads.
- Make committee findings; propose plans and specific recommendations to the City Manager, Commission, and other public parties of interest regarding public transportation facilities.
- Assist in informing the public of transportation issues within the City.

February

Item:

Mound Street - One-Way Request

Action:

Determined modification is not warranted.

Item:

Main Street and Greene Street

Action:

Determined modification is not warranted.

Item:

Main Street and Ash Street

Action:

Adjusted timing to better coordinate green cycles on Ash Street corridor and Main Street corridor.

Item:

Wayne Street and Ash Street

Action:

Determined modification is not warranted.

Item:

White Tail Drive – Street Name Correction

Action:

Determined White Tail Lane was the intended name of the affected right-of-way.

Item:

High Street – Fort Piqua Plaza Cross Walk

Action:

Determined relocation of handicap parking space will reduce conflicts with the pedestrian crossing sign located in pavement.

TRANSPORTATION COMMITTEE

Q1 - 2012

Summary of Actions Taken

March

Item:

Public Parking Lot – Bus Parking Main Street to Wayne Street

Action:

Determined no pavement marking/signage is necessary.

Item:

High Street – Fort Piqua Cross Walk Crossing

Action:

Determined no signage is necessary for pedestrians entering crosswalk.

Item:

Main and North - USR 36 Detour / Truck Turning Movements at

Action:

Eliminate left turn lanes on North Street; Adjust Main Street pavement markings with resurfacing project.
