

**PLANNING COMMISSION AGENDA
CITY OF PIQUA, OHIO
6:00 P.M. - TUESDAY, OCTOBER 8, 2019
MUNICIPAL GOVERNMENT COMPLEX
COMMISSION CHAMBERS - 201 W. WATER STREET**

CALL TO ORDER

- | | |
|-------------------|----------------------|
| 1. Chair Comments | Opening Remarks |
| 2. Roll Call | Clerk Calls the Roll |

OLD BUSINESS

- | | |
|--------------------|--|
| 3. Meeting Minutes | September 10, 2019 Planning Commission Meeting Minutes |
|--------------------|--|

NEW BUSINESS

- | | |
|------------------------|---|
| 4. Resolution PC 14-19 | A Resolution requesting the authorization of a Multi-Residential Special Use in the CBD (Central Business District) located at 509 N. Main Street |
| 5. Resolution PC 15-19 | A Resolution to consider final approval of the Kettering Health Network plat |

OTHER BUSINESS

None

ADJOURNMENT

PLANNING COMMISSION MINUTES
CITY OF PIQUA, OHIO
6:00 P.M. - TUESDAY, SEPTEMBER 10, 2019
MUNICIPAL GOVERNMENT COMPLEX
ADMINISTRATIVE CONFERENCE ROOM - 201 W. WATER STREET

CALL TO ORDER

At 6:00pm Chairman Oda called the meeting to order and welcomed all in attendance. Mr. Oda outlined the order of business and procedures that will be followed by the Planning Commission.

ROLL CALL

Members Present: Gary Koenig, Jim Oda, Cindy Pearson, Stu Shear, Joe Wilson

MEETING MINUTES

The minutes of August 13, 2019 Planning Commission Meeting were approved 5-0 by voice vote.

NEW BUSINESS

Resolution PC 12-19

A Resolution to consider an amendment to the zoning chapter of the codified ordinances to modify code provisions pertaining to minimum permit requirements and restoration standards for demolition projects.

Chris Schmiesing explained that section 154.127 of the zoning code outlines demolition standards and permit requirements. As it is currently written, if the principal structure is demolished the accessory structure must also be demolished, unless the Planning Commission authorizes it to remain as a special use of the premises. Item PC 11-19 on the August Planning Commission Agenda demonstrated how the special use process is utilized to address this type of scenario.

A request from the City Commission resulted in the Law Director drafting the proposed amendment for Planning Commission consideration. Planning Commission members discussed the proposed amendment and commented on the pros and cons of the amendment. Planning Commissioners noted that the current code text prevents accessory structures that are no longer accessory to the original use they were designed to support from being left behind and possibly becoming a nuisance to the neighborhood. The commissioners also noted that the code text as proposed would allow a swimming pool or utility shed or greenhouse to be left behind. Planning Commission members noted the condition of the structure is not so much the concern of the zoning code, as this can be addressed by the property maintenance code; rather, the concern is if an accessory structure that is left behind ends up being used in a manner that is not compatible with the surrounding use types and it becomes a nuisance to the neighborhood. Planning Commission members noted that the way the code is currently written there is an opportunity to take all of these types of concerns

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into consideration and if it is determined it will be okay then the structure can be allowed to remain. Planning Commission members also noted the proposed amendment would remove the opportunity to evaluate the circumstances and make a determination as to the appropriateness of the accessory structure being allowed to remain. After deliberation the Planning Commission recommended by a 4-1 roll call vote that the proposed amendment be defeated and the code text remain as currently written.

No additional comments were offered by persons in attendance.

Resolution PC 13-19

A Resolution to consider the Vacation of a portion of platted public right of way known as the alley passing through parcels N44-099860, N44-047300, N44-047320 and N44-092240.

Staff noted that this request is in preparation of platting several parcels into one single parcel. Staff noted the proposed portion of right of way to be vacated is currently occupied by private improvements and it is not necessary to any utilities or public transportation interests.

Mike Harwood, Project Manager for Hartzell Industries - 1025 S. Roosevelt Avenue, Piqua, came forward and stated that the intention is to clean up the property lines and to combine separate lots for future development purposes. He indicated Hartzell has no intention of making any changes or alterations to the portions of their property abutting the existing alley to the south and there are no changes planned for that area.

No one else came forward and no additional comments were made at this time.

Stu Shear motioned to approve Resolution PC 13-19 and Joe Wilson seconded. Resolution PC 13-19 was approved by a 5-0 roll call vote.

OTHER BUSINESS

No other business at this time.

ADJOURNMENT

With no other questions, comments or business before the Planning Commission, a motion was made by Mr. Shear and seconded by Mrs. Pearson to adjourn the meeting. With all those present in support of the motion the meeting was adjourned at approximately 6:34 P.M.

Attending the meeting to prepare the meeting minutes provided herein was Bethany Harp, Administrative Assistant, City of Piqua Development

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Department. Comments requesting corrections, additions or deletions to the content of this record should be directed to Ms. Harp at bharp@piquaoh.org.

RESOLUTION No. PC 14-19

WHEREAS, David J Kessler, applicant and agent of Schmidlapp Homestead, has submitted a request to allow a dwelling unit special use of the second floor of the property known as 509 N Main Street, and,

WHEREAS, Section 154.140, of the City of Piqua Code of Ordinances provides the procedure by which the Planning Commission may authorize a special use; and,

WHEREAS, the Planning Commission has studied the request, conducted a public hearing on the matter, and has established findings that indicate the proposed zoning designation:

- Will be compatible with the intended use of the real property.
- Will not threaten the general health, safety, and welfare of the surrounding properties, and the adjacent property values will not be negatively affected.
- Is compatible with the general economic development policies of the City.
- Conforms to all other applicable codes and regulations of the city.

NOW THEREFORE BE IT RESOLVED, board member _____ hereby moves to recommend approval of the request made, as described by this resolution, the testimony provided, and the documents included herewith, and the motion is seconded by board member _____, and the voting record on this motion is hereby recorded as follows.

	AYE	NAY	ABSTAIN	ABSENT
Mr. Jim Oda	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ms. Cindy Pearson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mr. Stu Shear	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mr. Gary Koenig	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mr. Joe Wilson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Application for Special Use Permit

1. Applicant's Name David S. Kessler Phone 937-552-9614

Applicant's Address P.O. Box 132, Troy, OH 45373

2. Owner's Name Schmidlapp Homestead LLC Phone 937-603-1705

Owner's Address 179 Brown Rd., Sidney, OH 45365

3. Type of legal interest held by applicant Agent

4. Location of Special Use Permit request

A. Legal description (Lot No. or attach legal description) IL 130 Schmidlapp Museum

B. Address 509 N. Main St.

5. Existing Zoning CBD - Central Business

6. Existing Usage S1, A3

7. Proposed Usage S1, A3, R2

8. Proposed Special Usage R2

9. No. of site plans submitted 0

10. Describe the reason for the requested special use:

Remodel second floor of Schmidlapp building into an apartment.

I hereby certify that the proposed request is authorized by the "Owner of Record" and agree to conform to all applicable laws of the City of Piqua, Ohio.

Signature of Applicant David S. Kessler Date 8.30.19

Signature of Owner StCS Schmidlapp Date 8/30/19

Note: Both the owner and the applicant shall sign when application is made by someone other than the owner.

*****OFFICE USE ONLY*****

Parcel ID #: N44 - 003215

\$100.00 Fee Paid X

Date Fee Paid 9/24/19

Receipt No. 205128

P.C. Res. No. _____

APARTMENT RENOVATION FOR SCHMIDLAPP BUILDING 509 N. MAIN ST. PIQUA, OHIO

2017 OHIO BUILDING CODE ANALYSIS:

PROJECT DESCRIPTION
BUILD-OUT OF SECOND FLOOR OF EXISTING BUILDING TO A RESIDENTIAL DWELLING UNIT.

SITE ZONING
C30 - CENTRAL BUSINESS

USE GROUP
PREVIOUS USES
- B1 - STORAGE (BASEMENT)
- B1 - BUSINESS (FIRST FLOOR)
- S1 - STORAGE (SECOND FLOOR)
- B1 - BUSINESS (FIRST FLOOR)
- R2 - RESIDENTIAL (SECOND FLOOR)

NEW USES
- R2 - RESIDENTIAL (SECOND FLOOR)

2-HOUR FIRE SEPARATION BETWEEN FIRST AND SECOND FLOOR PER OBC TABLE 508.4.

CONSTRUCTION TYPE
EXIST. BUILDING - BB

BUCC/HOOD WALLS
WOOD FLOOR SYSTEM
WOOD ROOF SYSTEM

HEIGHT & AREA LIMITATIONS
EXIST. BUILDING BASEMENT
= 1577 s.f.
EXIST. BUILDING FIRST FLOOR
= 3064 s.f.
EXIST. BUILDING SECOND FLOOR
= 1707 s.f.

TOTAL
= 6348 s.f.

B1/B1 R2 ALLOWABLE BUILDING HEIGHT (UNSPRINKLED)
= 58 / 55 / 55 ft.

B1/B1 R2 ALLOWABLE # OF STORES (UNSPRINKLED)
= 3 / 3 / 4 STORES

B1/B1 R2 ALLOWABLE AREA (UNSPRINKLED)
= 12,000 / 17,500 / 16,000 s.f.

FIRE SPRINKLERS
NO SPRINKLERS IN EXISTING BUILDING.

BUILDING OCCUPANT LOAD
1ST FLOOR:
BUSINESS
100 (R0351) s.f. / OCCUPANT 2748 s.f./1,000 20 PERSONS
STORAGE
300 (R0351) s.f. / OCCUPANT 286 s.f./1,000 2 PERSONS
2ND FLOOR:
RESIDENTIAL
200 (R0203) s.f. / OCCUPANT 1707 s.f./200 9 PERSONS
TOTAL OCCUPANT LOAD 291 PERSONS

EGRESS REQUIREMENTS:
NUMBER OF EYITS REQUIRED - 4
NUMBER OF EYITS PROVIDED: 5

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL CONDUCT ALL OPERATIONS IN STRICT ACCORDANCE WITH THE SHEET REQUIREMENTS IMPOSED BY THE APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.

THE CONTRACTOR TO CALL FOR INSPECTIONS AS REQUIRED FOR THE STRUCTURE TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO MAINTAIN THE STABILITY OF THE STRUCTURE AND ITS COMPONENT PARTS, AND THE ADJACENCY OF TOWNHOMES OR ADDITION OF WATER, TEMPORARY BRACING, GUIDES OR BEAMS THAT MAY BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL REMAIN THE CONTRACTOR'S PROPERTY.

THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE OWNERS PROPERTY AND DISPOSE OF ACCORDING TO LOCAL REGULATIONS.

ALL SHOP DRAWINGS SHALL BE SUBMITTED WITH THE ENGINEERING DRAWINGS AND SHALL BE APPROVED BY THE CONTRACTOR OR THEIR REPRESENTATIVE FOR APPROVAL.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEERING FIRM FOR APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL REMAIN THE CONTRACTOR'S PROPERTY.

ALL DEVIATIONS FROM ENGINEERING DRAWINGS SHALL BE CIRCLED AND NOTED ON THE SHOP DRAWINGS.



VICINITY MAP
NO SCALE
INDICATES LOCATION OF WORK

SHEET	DESCRIPTION
T1	TITLE, CODE NOTES, VICINITY MAP
A1	FIRST AND SECOND FLOOR PLANS, SCHEDULES
P1	PLUMBING PLAN, ISOMETRIC
E1	LIGHTING PLAN, ELECTRIC PLAN, NOTES

Project Number	19029
Design By	PJ
Design Date	6-18-19
Sheet	1
of	4
Drawing Number	T1

Apartment Renovation
Schmidlapp Building
509 N. Main St.
Piqua, Ohio 45356

ALLIANCE ENGINEERING, LLC
1402 E. 7th St.
Piqua, OH 45356
Tel: 937-238-0772
Fax: 937-238-0772

REVISIONS/COMMENTS

ROOM FINISH SCHEDULE

ROOM NAME	FINISHES	WALL	CEILING	FLOOR	DOOR	WINDOW	GLASS	GLAZING	FIXTURES
LIVING ROOM	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
DINING ROOM	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
KITCHEN	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
BATH	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
MASTER BEDROOM	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
GUEST ROOM	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
CL. 101	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
CL. 102	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
CL. 103	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL
CL. 104	EXIST	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL	1/2" DRYWALL

MATERIALS

WALLS: 1/2" DRYWALL - 1 COAT PRIMER, 2 FINISH COATS

CEILING: 1/2" DRYWALL

FLOOR: 1/2" DRYWALL

DOOR: 1/2" DRYWALL

WINDOW: 1/2" DRYWALL

GLASS: 1/2" DRYWALL

GLAZING: 1/2" DRYWALL

FIXTURES: 1/2" DRYWALL

FINISH: 1/2" DRYWALL

FRAMING: 1/2" DRYWALL

INSULATION: 1/2" DRYWALL

ROOFING: 1/2" DRYWALL

MECHANICAL: 1/2" DRYWALL

ELECTRICAL: 1/2" DRYWALL

PLUMBING: 1/2" DRYWALL

PAINT: 1/2" DRYWALL

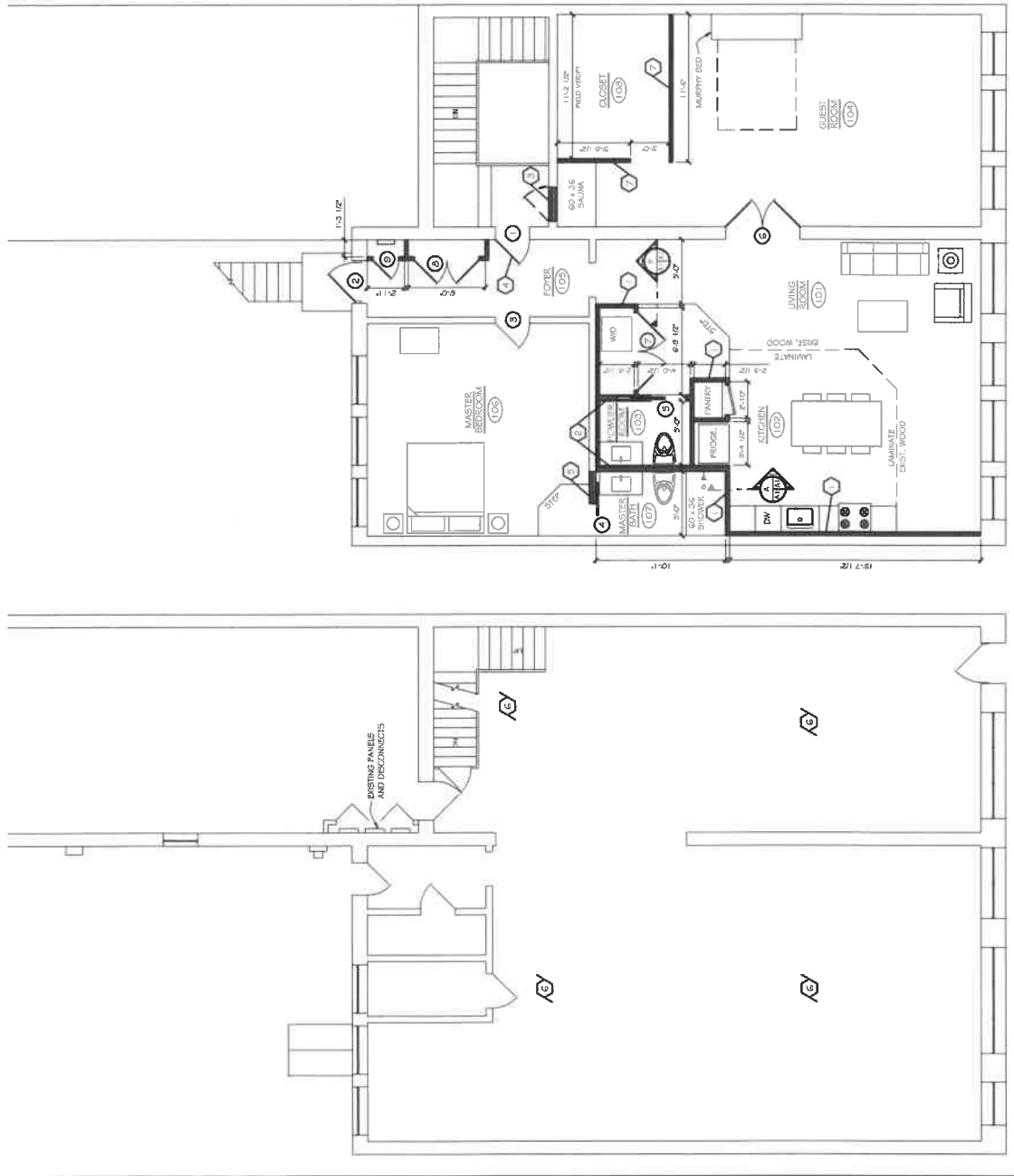
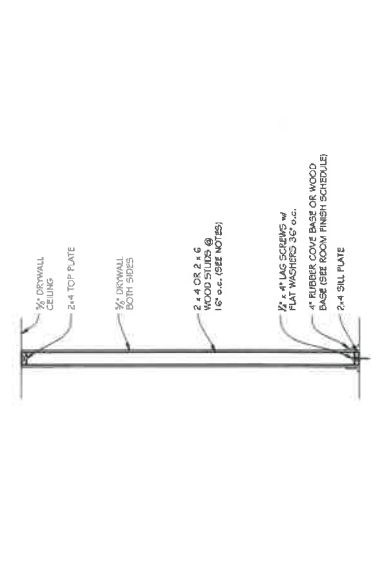
TRIM: 1/2" DRYWALL

FASTENERS: 1/2" DRYWALL

ADHESIVES: 1/2" DRYWALL

NOTES:

1. DRYWALL FINISHES SHALL BE SINGLE-CYCLER, LOCKSET TYPES WITHOUT THE USE OF A LOCK, FINISH NOTED OTHERWISE.
2. MANUALLY OPERATED OR SURFACE MOUNTED FLUSH LOCKS SHALL NOT BE INSTALLED ON EGRESS DOORS.
3. ALL DOOR AND WINDOW OPENINGS SHALL BE 1/4" MINIMUM CLEARANCE ABOVE AND BELOW.
4. DOOR CLOSERS SHALL TANG AT LEAST THREE SECONDS TO MOVE TO A POINT THREE INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
5. STANDARD ANCHOR OF 1" FOR ALL INTERIOR DOORS, U.N.C. TYPE.
6. ALL DOORS TO BE LATCH OPERATED UNL. DESIGN.
7. ALL HARDWARE FINISH BY OWNER.
8. EXISTING RELOCATED DOOR.



- DRAWING NOTES:**
1. NEW 2-4 WALL @ 107-4. SEE TYPICAL WALL SECTION.
 2. NEW 2-4 WALL @ 107-4. SEE TYPICAL WALL SECTION.
 3. REMOVE EXISTING DOOR AND HANG COMPARTS AND FILL IN C/PINING.
 4. REPLACE EXISTING DOOR WITH NEW FREE RATED DOOR.
 5. OPEN UP WALL AND INSTALL BARN DOOR.
 6. ADD A LAYER OF DRYWALL TO THE EXISTING PLASTER CEILING.
 7. NEW 2-4 WALL @ 107-4. TO 2-4' A.F.F.

GENERAL PLUMBING NOTES:

- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PIPING SYSTEMS COMPLETE, UNLESS NOTED OTHERWISE. COMPLETE ALL PIPING, FITTINGS, VALVES, HANGERS AND ANCHORS, EQUIPMENT, FITTINGS, SPRIGATES, ETC.
- THE CONTRACTOR SHALL COORDINATE PROVISIONS FOR PENETRATIONS IN BLOCK WALLS (I.E. SLEEVES, UNIFLEX, ETC.) WITH THE GENERAL CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, GOVERNING AGENCIES RELATIVE TO DOMESTIC WATER, NATURAL GAS, AND SANITARY SEWER INSTALLATION WORK ON THIS PROJECT.
- ALL WORK SHALL CONFORM TO ALL CODES THAT APPLY TO THIS PROJECT, AND ALL CODES SHALL BE CURRENT AND REQUIREMENTS WHERE APPLICABLE.
- MECHANICAL AND ELECTRICAL DRAWINGS TO AVOID INTERFERENCE WITH OTHER TRADES. THE CONTRACTOR SHALL VERIFY ALL EXISTING PIPE SIZES, LOCATIONS, RELATIVE DIMENSIONS, ETC.
- THE CONTRACTOR SHALL CONCEAL ALL PIPES WITHIN WALLS OR CHASES WHENEVER PRACTICAL.
- THE CONTRACTOR SHALL DEMONSTRATE OPERATION OF ALL SYSTEMS AND EQUIPMENT TO THE OWNER. THE OPERATING AND SERVICE MANUALS FOR ALL EQUIPMENT SHALL BE FURNISHED TO THE OWNER.

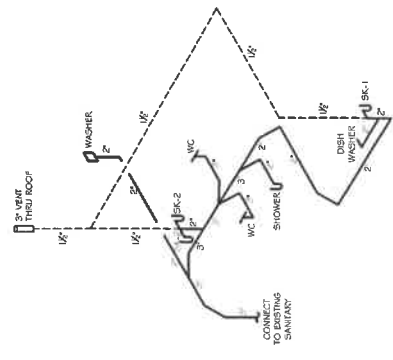
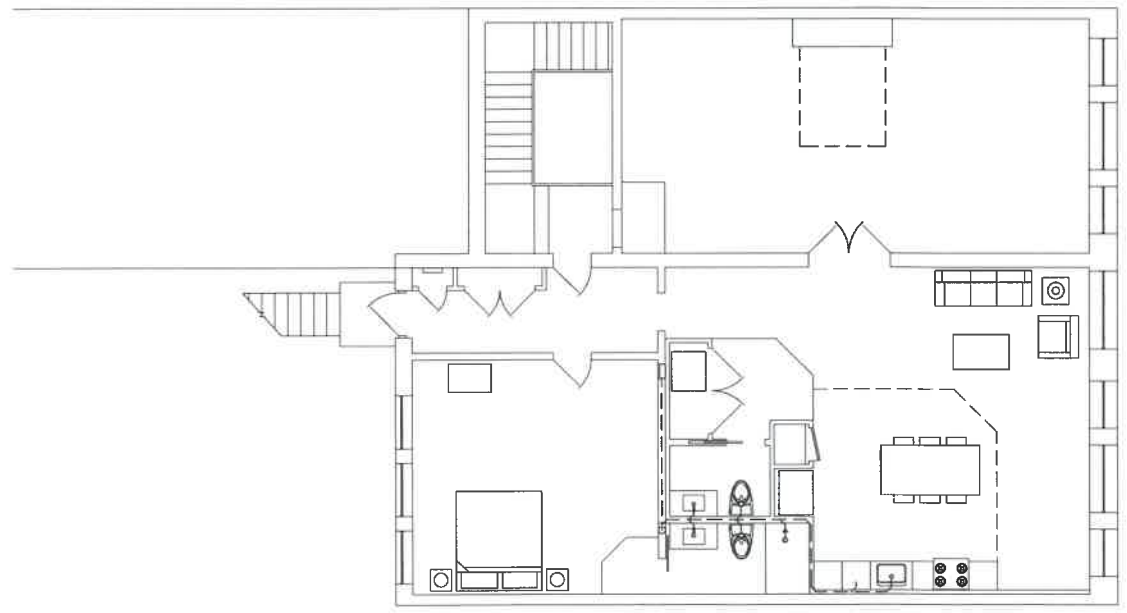
- THE CONTRACTOR SHALL PROVIDE AND INSTALL DOMESTIC HOT & COLD WATER DISTRIBUTION TO ALL OBVIOUSLY NECESSARY BACKFLOW PREVENTERS, WATER HEATERS, ETC. ALL WATER PIPING SHALL BE INSTALLED MEETING THE REQUIREMENTS OF CBC CODE, LATEST EDITION, AND AS DESCRIBED BELOW.
- THE CONTRACTOR SHALL INSULATE ALL NEW DOMESTIC WATER DISTRIBUTION SUPPLY AND RETURN MAINS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SERVICE VALVES ON ALL DOMESTIC HOT AND COLD WATER DISTRIBUTION TO EACH FUTURE. ALL VALVES IN CONVENIENT LOCATIONS.
- CONTRACTOR SHALL PROVIDE APPROPRIATE AIR CHAMBERS AT ALL EQUIPMENT WITH QUICK CLOSING VALVES, UNLESS OTHERWISE NOTED.
- ALL DOMESTIC WATER PIPING ABOVE SLAB SHALL BE ASTM B 60 TYPE L, HARD COPPER TUBE W/ SOLDERED FITTINGS BROUGHT ALL JOINTS SHALL BE SOLDERED W/ ASTM B 32 95-5 TIMANTHONY GUNDRY OR APPROVED EQUAL. ALL COPPER SHALL BE INSULATED WITH "WRAP" PIPE COATING THROUGH SLAB WITH "MONOKLEP" INSULATION.
- ALL PIPE INSULATION SHALL BE 1" THICK WITH ALL SERVICE THE INSULATING JOINTS SHALL HAVE A "U" VALUE OF 0.20 OR BETTER. ALL INSULATION SHALL BE MEETING THE REQUIREMENTS AND A COMPOSITE FIRE & SMOKE RATING, AS TESTED BY PROCEDURE ASTM E-84, NFPA 255

- AND UL 725, NOT EXCEEDING FLAME SPREAD 25 & SMOKE DEVELOPED PIPE INSULATION SHALL BE AS MANUFACTURED BY PERMITTED MANUFACTURER. ALL INSULATION SHALL BE TIGHTLY BUTTED AND COVERED WITH 4" WIDE "CLOOSE" JOINT TAPE ADHESIVE WITH LAT EXHA ADHESIVE TO PROVIDE A COMPLETE VAPOR BARRIER ENVELOPE.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL SANITARY SEWER, CLEANOUTS, TRAPS, VENTS, ETC. ALL SANITARY SEWER SHALL BE INSTALLED MEETING THE REQUIREMENTS OF CBC, LATEST EDITION, & AS DESCRIBED BELOW.
- ALL SANITARY SEWER PIPE SHALL BE INSTALLED 4" W/ PER FOOT MINIMUM SLOPE, UNLESS NOTED OTHERWISE.
- ALL SLOPED TRAPS AND VENTS SHALL BE BRONZE, UNLESS OTHERWISE NOTED.
- VENTS SHALL BE LOCATED ABOVE SUSPENDED CEILING AND/OR WITHIN ATTIC TO MINIMIZE ROOF PENETRATIONS.
- PVC PIPE IS ACCEPTABLE FOR WASTE AND VENT PIPING.
- THIS CONTRACTOR SHALL REFERENCE ARCHITECTURAL DRAWINGS FOR SANITARY MAKE LOCATIONS, INCLUDING HEIGHTS, ETC.
- ALL FLOOR DRAINS SHALL HAVE TRAP SEALS CONNECTIONS, UNLESS OTHERWISE NOTED.

PLUMBING FIXTURE SCHEDULE

TRAP MARK	MPR	MODEL	DESCRIPTION	QTY	NOTES
WC	K-45969	K-45969	THE COMPLETE SOLUTION DUAL-FLUSH TOILET	2	
SK-1	K-20060-3	K-20060-3	TOP MOUNT KITCHEN SINK	1	
SK-2	K-2337-4	K-2337-4	DROP-IN BATHROOM SINK	2	
WASHER			WASHER HOOD-UP BOX	1	
SHOWER			35" x 60" SHOWER	1	

- NOTES:
- PROVIDE AND INSTALL THE PLUMBING FIXTURES PER MANUFACTURERS INSTRUCTIONS, AND TO MEET THE ARII REQUIREMENTS.
 - MEET THE ARII REQUIREMENTS FOR TRAP VALVES.
 - MANUFACTURER LISTED IS BASIS OF SELECTION. EQUIPMENT ALTERNATES WILL BE CONSIDERED.



NOTE:
FIXTURES ACCEPTABLE FOR HOT AND COLD WATER SUPPLY LINES.

PLUMBING PLAN
SCALE: 1/4" = 1'-0"

PLUMBING ISOMETRIC
NO SCALE

REVISIONS/COMMENTS



ALTIMATE ENGINEERING, LLC
 18102 S. 216 S.W.
 FAYETTEVILLE, MO 65242
 TEL: 636-222-5242
 FAX: 636-222-0773
 WWW.ALTIMATEENGINEERING.COM

504 N. Main St
 Piquette, Ohio 45356

Apartment Renovation
 Schmitz Building
 LIGHTING PLAN AND ELECTRIC PLAN, SECTION NOTES

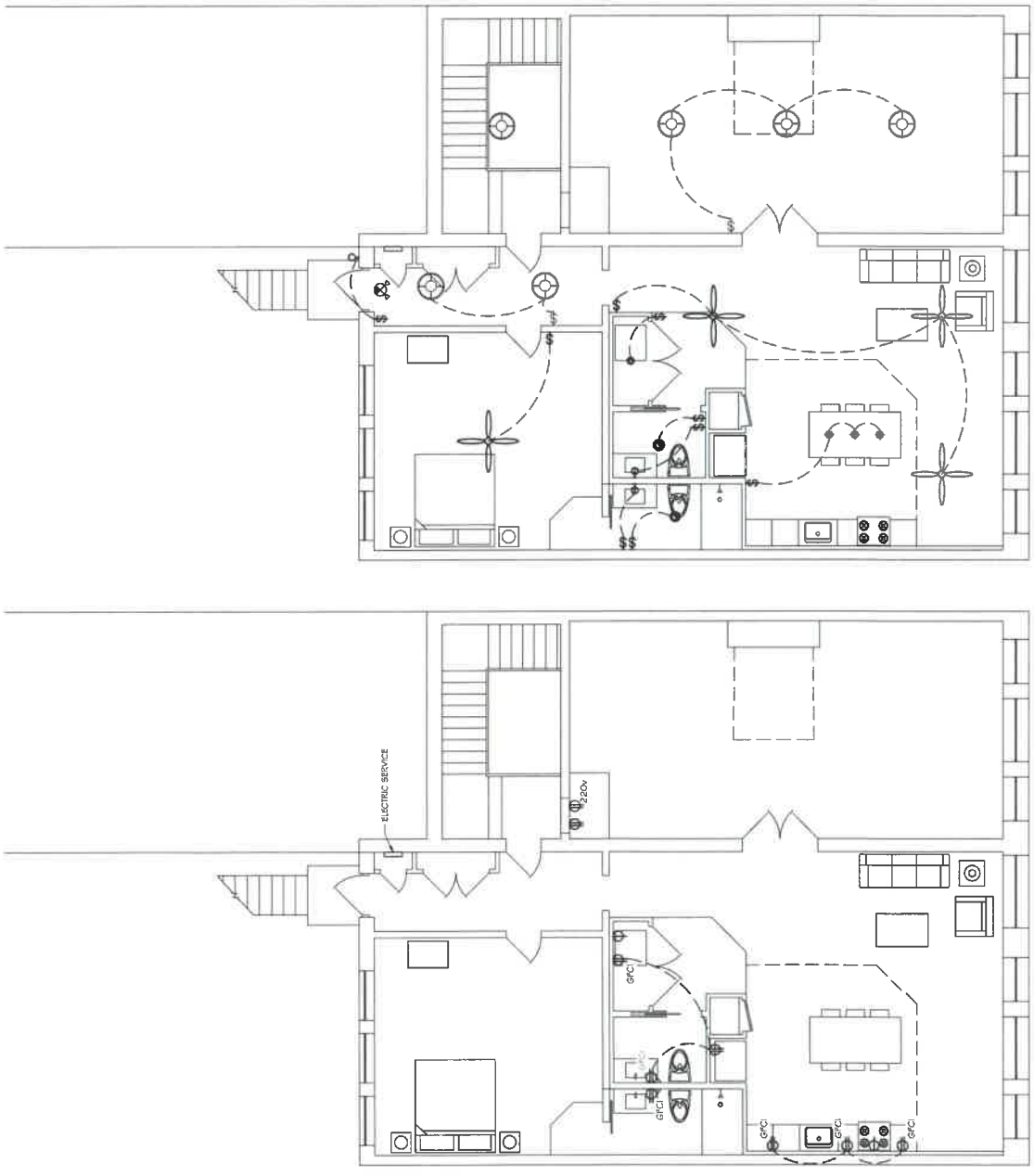
Project Number: 190228
 Design By: KRM
 Drawn By: TLK
 Design Date: 6-18-19
 Sheet: 4 of 4
 Drawing Number: E1

GENERAL ELECTRICAL NOTES:

- A. ELECTRICAL CONTRACTOR SHALL VERIFY SITE AND FAMILIARIZE WITH ALL EXISTING ELECTRICAL SYSTEMS, INCLUDING ALL PANELS, CIRCUITS, WIRING, AND SPECIFICATIONS. THESE ELECTRICAL DRAWINGS ARE TO BE USED AS A GUIDE.
- B. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE STANDARDS OF THE LOCAL ELECTRICAL UTILITY COMPANY. ELECTRICAL CONTRACTOR SHALL SECURE AND VERIFY ALL WIRING FROM THE LOCAL ELECTRICAL UTILITY COMPANY. ELECTRICAL CONTRACTOR SHALL SECURE AND VERIFY ALL WIRING FROM THE LOCAL ELECTRICAL UTILITY COMPANY.
- C. ELECTRICAL CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR A COMPLETE AND FUNCTIONING SYSTEM INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE STANDARDS OF THE LOCAL ELECTRICAL UTILITY COMPANY. ELECTRICAL CONTRACTOR SHALL SECURE AND VERIFY ALL WIRING FROM THE LOCAL ELECTRICAL UTILITY COMPANY.
- D. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING WIRING AND CONNECTIONS TO ALL EQUIPMENT FURNISHED BY OTHERS AS NOTED OR SHOWN.
- E. INSTANTANEOUS TRIP CIRCUIT BREAKERS WITH MIPORS SHALL BE INSTALLED IN ALL NEW AND EXISTING CIRCUITS.
- F. ALL RECEPTACLE CIRCUITS SHALL BE 20 AMP UNLESS OTHERWISE SPECIFIED. ALL OUTSIDE RECEPTACLES SHALL BE WEATHERPROOFED AND PROTECTED FROM OVERHEATING. ALL WEATHERPROOFING SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- G. ALL WIRING SHALL BE ROUTED AND PROTECTED PER NEC REQUIREMENTS. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE STANDARDS OF THE LOCAL ELECTRICAL UTILITY COMPANY.
- H. RUN ALL CONDUIT AND WIRE TIGHT TO BUILDING STRUCTURE WHERE POSSIBLE. ALL RUNS SHALL BE SQUARE AND TRUE WITH BUILDING LINES.
- I. COMPLETE ALL PANEL CIRCUIT CARDS. LABEL ALL PANELS.
- J. RECESS ALL BOXES 4" COMBUT IN NEW WALLS, AND ABOVE CEILING. IDENTIFY AS NOTED.
- K. ALL ELECTRICAL CONNECTIONS, DISCONNECTS, CIRCUIT BREAKERS, ETC. SPECIFIED OR REQUIRED.
- L. ALL GROUNDING SHALL BE PER NEC ARTICLE 250.
- M. FINAL LOCATION OF ALL DEVICES SHALL BE COORDINATED WITH ARCHITECTURAL PLANS, FURNITURE LAYOUTS, AND SPECIFICATIONS.
- N. GENERAL CIRCUIT DISTRIBUTION IS IDENTIFIED ON LOAD CENTER. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE STANDARDS OF THE LOCAL ELECTRICAL UTILITY COMPANY.
- O. BOXES INSTALLED FOR ANY COMMUNICATION TYPE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE STANDARDS OF THE LOCAL ELECTRICAL UTILITY COMPANY.
- P. ELECTRICAL EQUIPMENT SHALL BE SELECTED TO WITH STANDARDS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE STANDARDS OF THE LOCAL ELECTRICAL UTILITY COMPANY.
- Q. EMERGENCY, EXIT & NIGHT LIGHTS SHALL BE WIRED TO THE LIGHTING CIRCUITS OF THE AREA THEY SERVE, AHEAD OF LOCAL SWITCHES.

SYMB.	MFR.	CATALOG #	DESCRIPTION	QTY.	LAMP
⊗			EXISTING LIGHT FIXTURE	6	60W
⊕			CEILING FAN w/ LIGHT	4	60W
⊙			WALL MOUNTED LIGHT FIXTURE	3	60W
•			PENDANT LIGHT	3	60W
⊙			6" CAN LIGHT	1	60W
⊙			EXHAUST FAN w/ LIGHT	2	60W
⊙			EXISTING EXHAUSTS COMBO (EMERGENCY LIGHT)	1	3.5 W

NOTES:
 1. ALL FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 2. ALL WIRING SHALL BE INSTALLED PER THE NATIONAL ELECTRICAL CODE (NEC) AND THE STANDARDS OF THE LOCAL ELECTRICAL UTILITY COMPANY.



NOTE: CONNECT ALL NEW ELECTRIC TO AN OPEN AVAILABLE CIRCUIT.

ELECTRICAL PLAN
 SCALE: 1/8" = 1'-0"

LIGHTING PLAN
 SCALE: 1/8" = 1'-0"

RESOLUTION No. PC 15-19

WHEREAS, Curtis Prill, applicant and Project Manager of EMH&T, has submitted a plot for real property known as Kettering Health Network Piqua Medical Center; and,

WHEREAS, the City of Piqua Code of Ordinances section 151.34 provides the procedure for approving a Final Plat for a subdivision project; and,

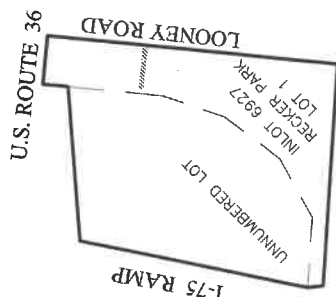
WHEREAS, the Planning Commission has studied the request, conducted a public hearing on the matter, and has established as fact that the proposed Preliminary Plan:

- Will conform with the stated intent of the Complete Streets Policy.
- Will not threaten the general health, safety, and welfare of the properties affected.
- Is compatible with the general economic development policies of the City.
- Conforms to all other applicable plans, policies, codes and regulations of the city.

NOW THEREFORE BE IT RESOLVED, board member _____ hereby moves to approve the request made, as described by this resolution, the testimony provided, and the documents attached hereto, the motion is seconded by board member _____, and the voting record on this motion is hereby recorded as follows.

	AYE	NAY	ABSTAIN	ABSENT
Mr. Jim Oda	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ms. Cindy Pearson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mr. Stu Shear	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mr. Gary Koenig	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mr. Joe Wilson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

INDEX OF INLOTS AND OUTLOTS TO BE REPLATTED



U.S. ROUTE 36

KETTERING HEALTH NETWORK PIQUA MEDICAL CENTER

Volume _____ Page _____
U.S. ROUTE 36

Section 25, Township 1, Range 12
Section 30, Township 1, Range 11

STATE OF OHIO
HIGHWAY EASEMENT
D.B. 796, P. 200

(A) STATE OF OHIO
HIGHWAY EASEMENT
D.B. 403, P. 263

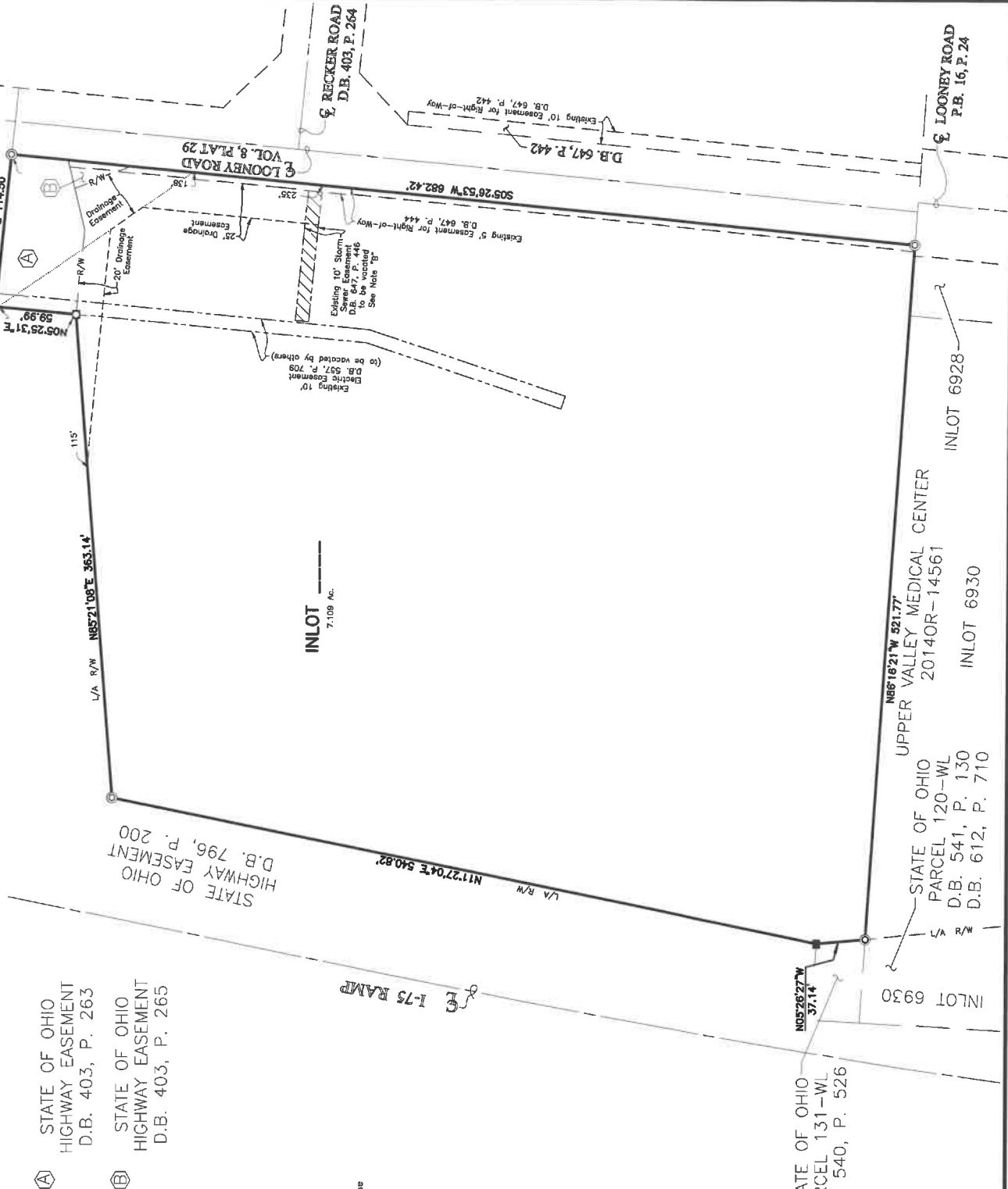
(B) STATE OF OHIO
HIGHWAY EASEMENT
D.B. 403, P. 265

Line Type Legend

- Existing Property Line
- Existing R/W Line
- - - Existing R/W Centerline
- - - Existing Easement Line
- Proposed Subdivision Boundary Line
- Proposed Lot Line
- Proposed R/W Line
- Proposed R/W Centerline
- - - Proposed Easement Line

NOTE "A" : At the time of platting, Kettering Health Network Piqua Medical Center is in Zone X (areas determined to be in the 0.2% Flood Hazard Insurance Map for Miami County, Ohio, and Incorporated Areas, map number 39109C0064E, with effective date of August 2, 2011).

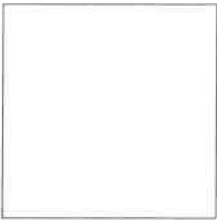
NOTE "B" - VACATION OF CERTAIN EASEMENTS:
All rights and easements granted to the City of Piqua, Ohio by deed of record in Deed Book 647, Page 446, in, over and under the areas indicated hereon by hatching is hereby vacated and rendered null and void.



KETTERING HEALTH NETWORK PIQUA MEDICAL CENTER

Volume _____ Page _____
Miami County Recorder's Record of Plats

1 2



Fee \$ _____

Miami County Recorder _____ By Deputy Recorder _____

MIAMI COUNTY AUDITOR

Approved and Transferred _____ 20____

Miami County Auditor _____

By Deputy Auditor _____

APPROVAL BY THE PIQUA CITY COMMISSION

At a meeting of the city commission of the City of Piqua, this plat was approved this _____ day of _____, 20____, By Resolution Number _____

Mayor _____

Clerk _____

City of Piqua Planning Commission

This record plat was reviewed and approved this _____ Day of _____, 20____

Chair _____

Clerk _____

SURVEYED & PLATTED
BY



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- Concrete Monument w/drill hole found
- ODOT Monument w/cap found
- Iron Pin (See Survey Data)
- MAG Nail to be set
- Permanent Marker (See Survey Data)

By _____ Professional Surveyor No. 7865 _____ Date _____

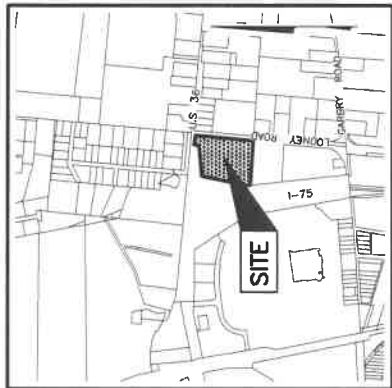
SURVEY DATA:

BASIS OF BEARINGS: Bearings are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (2011). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected CORS base stations in the National Spatial Reference System. A bearing of South 05° 26' 53" West, assigned to the westerly right-of-way line of Looney Road, is designated the "basis of bearings" for this plat.

SOURCE OF DATA: The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Miami County, Ohio.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes thirteen sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHIT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inches long, solid brass, to be set to permanent points indicated on the plat and are to be set with a flush with a stainless steel cap and then capped with an aluminum cap stamped EMHIT INC. Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.



LOCATION MAP AND BACKGROUND DRAWING

NOT TO SCALE

Situated in the State of Ohio, County of Miami, City of Piqua, and in Section 30, Township 1, Range 11, Miami River Survey, containing 7.109 acres of land, more or less, said 7.109 acres being comprised of an Unnumbered Lot, a Replat of part of Inlot 6927 and part of Lot 1 of the subdivision entitled "Recker Park", of record in Volume 8, Page 29, as conveyed to MERLIN'S HOLDINGS, LTD. by deed of record in 2018OR-03595, Recorder's Office, Miami County, Ohio.

The undersigned, MERLIN'S HOLDINGS, LTD an Ohio limited liability company, by the premises, does hereby certify that this plat correctly represents its "KETTERING HEALTH NETWORK PIQUA MEDICAL CENTER", a subdivision containing Inlot number _____, does hereby accept this plat of same.

Easements are hereby reserved in, over and under areas designated on this plat as "Drainage Easement". Each of the aforementioned designated easements permit the use of the portion and in of all public and quasi-public utilities above, beneath and on the faces of the ground or any structure, for the conduct, operation and maintenance of sewer connections to all adjacent lots and lots and storm water drainage. Within those areas designated "Drainage Easement" on this plat an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the City of Piqua Engineer.

In Witness Whereof, _____ of MERLIN'S HOLDINGS, LTD, has hereunto set his hand this _____ day of _____, 20____

Signed and Acknowledged MERLIN'S HOLDINGS, LTD

In the presence of:

By _____

STATE OF OHIO
COUNTY OF MONTGOMERY ss:

Before me, a Notary Public in and for said State, personally appeared _____ of MERLIN'S HOLDINGS, LTD, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said MERLIN'S HOLDINGS, LTD, for the uses and purposes expressed herein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this _____ day of _____, 20____

My commission expires _____ Notary Public, _____ State of Ohio

PARCEL	Property Address	PIQUA	OH	45356 Owner	OR CURRET
N44-000770	107 GREENE ST E	PIQUA	OH	45356 CANAL VIEW INVESTMENTS LLC	OR CURREN
N44-000780	431 MAIN ST N	PIQUA	OH	45356 MILLER RONALD M & TINA L (LC)	OR CURREN
N44-000790	427 MAIN ST N	PIQUA	OH	45356 ANDERSON GARY R & SHIRLEY A	OR CURREN
N44-000800	429 MAIN ST N	PIQUA	OH	45356 REEDY MARK E & GAY E	OR CURREN
N44-000810	423 MAIN ST N	PIQUA	OH	45356 LATHAM SCOTT & CHRISTINE L	OR CURREN
N44-000820	425 MAIN ST N	PIQUA	OH	45356 STARRETT CHARMAINE R (TR) & @(2)	OR CURREN
N44-000830	421 MAIN ST N	PIQUA	OH	45356 STARRETT CHARMAINE R TRUSTEE	OR CURREN
N44-000840	413 MAIN ST N	PIQUA	OH	45356 WINTROW ROXANNE	OR CURREN
N44-000850	419 MAIN ST N	PIQUA	OH	45356 WENRICK CHRISTOPHER S	OR CURREN
N44-000860	411 MAIN ST N	PIQUA	OH	45356 PLEASANT LONNIE R (TOD)	OR CURREN
N44-000870	417 MAIN ST N	PIQUA	OH	45356 DOBO REAL PROPERTY LLC	OR CURREN
N44-000880	415 MAIN ST N	PIQUA	OH	45356 GREGGERSON REAL PROPERTY LLC	OR CURREN
N44-000890	401 MAIN ST N	PIQUA	OH	45356 CANAL VIEW INVESTMENTS LLC	OR CURREN
N44-000895	110 ASH ST E	PIQUA	OH	45356 CITY OF PIQUA OHIO	OR CURREN
N44-000900	N 409 MAIN ST	PIQUA	OH	45356 FISHER JAMES C	OR CURREN
N44-000910	405 MAIN ST N	PIQUA	OH	45356 ANDERSON GARY R & SHIRLEY ANN	OR CURREN
N44-001530	N 400 MAIN ST	PIQUA	OH	45356 MRM LEASING CORPORATION	OR CURREN
N44-001540	N 408 MAIN ST	PIQUA	OH	45356 GOOD LUCK LEASING LLC	OR CURREN
N44-001550	110 ASH ST W	PIQUA	OH	45356 RAYNER BUILDING PARTNERSHIP	OR CURREN
N44-001560	N 406 MAIN ST	PIQUA	OH	45356 GOOD LUCK LEASING LLC	OR CURREN
N44-001570	N 410 MAIN ST	PIQUA	OH	45356 GOOD LUCK LEASING LLC	OR CURREN
N44-001580	414 MAIN ST N	PIQUA	OH	45356 ARP DOUGLAS G & TERESA C	OR CURREN
N44-001590	418 MAIN ST N	PIQUA	OH	45356 ESDY PROPERTIES INC	OR CURREN
N44-001600	420 MAIN ST N	PIQUA	OH	45356 LATHAM SCOTT D & CHRISTINE L	OR CURREN
N44-001620	430 MAIN ST N	PIQUA	OH	45356 FOUR B S REAL ESTATE	OR CURREN
N44-001640	423 WAYNE ST N	PIQUA	OH	45356 VESTCO LTD	OR CURREN
N44-001670	419 WAYNE ST N	PIQUA	OH	45356 BENKERT JULIA M	OR CURREN
N44-001690	417 WAYNE ST N	PIQUA	OH	45356 MCKINNEY GARY W	OR CURREN
N44-001700	114 ASH ST W	PIQUA	OH	45356 MAGEL ERIC & AMY	OR CURREN
N44-001720	128 ASH ST W	PIQUA	OH	45356 EJB INVESTMENTS LLC	OR CURREN
N44-002890	120 GREENE ST E	PIQUA	OH	45356 CHARLES ANTHONY	OR CURREN
N44-002900	116 GREENE ST E	PIQUA	OH	45356 MIKOLAJEWSKI DERRICK N & JOSEPH A SIMM	OR CURREN
N44-002910	514 SPRING ST	PIQUA	OH	45356 JACOMET PATRICK J & MARILYN C	OR CURREN

N44-002920	508 SPRING ST	PIQUA	OH	45356 THOBE ALOYSIUS J & LINDA K	OR CURREN
N44-002930	516 SPRING ST	PIQUA	OH	45356 TEACH JOSEPH C & MARY E	OR CURREN
N44-002940	526 SPRING ST	PIQUA	OH	45356 KAECK RONALD T	OR CURREN
N44-002950	123 NORTH ST E	PIQUA	OH	45356 ZHU BO JIN & XIU JUAN WU	OR CURREN
N44-002960	121 NORTH ST E	PIQUA	OH	45356 SEIPEL RICKEY L & KAREN L	OR CURREN
N44-002970	528 SPRING ST	PIQUA	OH	45356 TILLMAN BARBARA J	OR CURREN
N44-003140	529 MAIN ST N	PIQUA	OH	45356 HEPHNER ROBERT L & KAREN E	OR CURREN
N44-003150	527 MAIN ST N	PIQUA	OH	45356 SWIGART ERIC S	OR CURREN
N44-003160	525 MAIN ST N	PIQUA	OH	45356 STYLE & POLISH SALON LLC	OR CURREN
N44-003170	531 MAIN ST N	PIQUA	OH	45356 HEPHNER ROBERT L & KAREN E	OR CURREN
N44-003180	517 MAIN ST N	PIQUA	OH	45356 TRANSITION PROPERTIES LTD	OR CURREN
N44-003190	523 MAIN ST N	PIQUA	OH	45356 KATIE HUBER CORP	OR CURREN
N44-003210	513 MAIN ST N	PIQUA	OH	45356 PIQUA AUTOMOTIVE INC	OR CURREN
N44-003215	N 509 MAIN ST	PIQUA	OH	45356 SCHMIDLAPP HOMESTEAD LLC	OR CURREN
N44-003220	E 106 GREENE ST	PIQUA	OH	45356 GROSS JOHN A & STEPHANIE L	OR CURREN
N44-003230	505 MAIN ST N	PIQUA	OH	45356 BLAIR JEREMY S & TANYA J	OR CURREN
N44-003240	501 MAIN ST N	PIQUA	OH	45356 MILLER RONALD M (LC)	OR CURREN
N44-003250	102 GREENE ST E	PIQUA	OH	45356 RED INVESTMENTS LLC	OR CURREN
N44-003255	W 124 GREENE ST	PIQUA	OH	45356 BROTKIN LINDA M	OR CURREN
N44-003260	500 MAIN ST N	PIQUA	OH	45356 LANGE FRANK N	OR CURREN
N44-003265	W GREENE ST	PIQUA	OH	45356 BROTKIN LINDA M	OR CURREN
N44-003280	N 514 MAIN ST N	PIQUA	OH	45356 LIETTE REALTY II LLC	OR CURREN
N44-003300	520 MAIN ST N	PIQUA	OH	45356 BERTKE JOHN F (TOD)	OR CURREN
N44-003310	530 MAIN ST N	PIQUA	OH	45356 J & M INVESTMENTS OF NW OHIO LLC	OR CURREN
N44-003320	115 NORTH ST W	PIQUA	OH	45356 WESTFALL JASON L	OR CURREN
N44-003340	519 WAYNE ST N	PIQUA	OH	45356 BRUBAKER CRISTINA C	OR CURREN
N44-003610	523 WAYNE ST N	PIQUA	OH	45356 MILLER THOMAS G	OR CURREN
N44-003620	119 NORTH ST W	PIQUA	OH	45356 BAIR JASON S & HEATHER L	OR CURREN
N44-003630	515 WAYNE ST N	PIQUA	OH	45356 MCMACKIN JEFFREY L & FAITH M	OR CURREN
N44-003640	509 WAYNE ST N	PIQUA	OH	45356 LANGE FRANK N	OR CURREN
N44-250521	E 105 GREENE ST	PIQUA	OH	45356 GATHERING PLACE	OR CURREN
N44-072745	E 1204 ASH ST	PIQUA	OH	45356 CARRINGTON FRANCIS L & CAROLE A	OR CURREN
N44-072863	315 LOONEY RDS	PIQUA	OH	45356 JASSGILL INC	OR CURREN
N44-072864	1204 RECKER RD	PIQUA	OH	45356 JASSGILL INC	OR CURREN

N44-072875	S 308 LOONEY RD	PIQUA	OH	45356 MERLINS HOLDINGS LTD	OR CURREN
N44-072885	289 LOONEY RD S	PIQUA	OH	45356 MIRIYAN LLC	OR CURREN
N44-072887	283 LOONEY RD S	PIQUA	OH	45356 THE SHELBY COUNTY MEMORIAL HOSPITAL A;	OR CURREN
N44-072894	S 280 LOONEY RD	PIQUA	OH	45356 UPPER VALLEY MEDICAL CENTER	OR CURREN
N44-076267	E 1035 ASH ST	PIQUA	OH	45356 STEPHAN ROBERT D (TR) (LC) & @(3)	OR CURREN
N44-076269	8030 LOONEY RD N	PIQUA	OH	45356 JASSGILL INC	OR CURREN
	5500 New Albany Road	Columbus	OH	43054 Curtis Prill	
	P.O. Box 132	Troy	OH	45373 David Kessler	
	179 Brown Rd	Sidney	OH	45356 SCHMIDLAPP HOMESTEAD LLC	



DEVELOPMENT OFFICE

Kyrsten French – City Planner
201 West Water Street • Piqua, Ohio 45356
(937) 778-2049 • FAX (937) 778-0809
E-Mail: kfrench@piquaoh.org

September 27, 2019

***** MEETING NOTICE *****

Please be advised that the City of Piqua Planning Commission Board will conduct a meeting at the special time and location stated below.

TIME: **6:00 PM**
DATE: **Tuesday, October 8, 2019**
LOCATION: **Commission Chambers – 2nd Floor**
Municipal Government Complex
201 W. Water Street

This letter serves to notify those persons who may have an interest in an agenda item to be discussed at this meeting. View the Planning Commission Meeting packet in its entirety online at <http://piquaoh.org/city-government/boards-and-committees/planning-commission/> or by visiting the Development Office.

This is your opportunity to speak in favor of, or object to, an item to be considered. If you desire to state your opinion concerning this matter and will be unable to attend the meeting, please submit your statement in writing to this office prior to 5pm on the date of the meeting.

Please contact this office if you have any questions pertaining to this notice.

Kyrsten French
City Planner

Enc.